

PROPOSED NEW INDUSTRIAL RETAIL OUTLET & TORRENS TITLE SUBDIVISION

AT LOT 1 IN DP 1294866

49 KNOX STREET, GOULBURN, NSW, 2580

DWG #	REV #	TITLE OF DRAWING
DA-01	A	TITLE
DA-02	A	SURVEY
DA-03	A	COMPLIANCE NOTES
DA-04	A	TORRENS TITLE SUBDIVISION PLAN
DA-05	A	EXISTING / DEMOLITION SITE PLAN
DA-06	A	PROPOSED SITE PLAN
DA-07	A	PROPOSED GROUND FLOOR PLAN
DA-08	A	PROPOSED MEZZANINE FLOOR PLAN
DA-09	A	PROPOSED ROOF PLAN
DA-10	A	PROPOSED ELEVATIONS 1
DA-11	A	PROPOSED ELEVATIONS 2
DA-12	A	3D PERSPECTIVE 1
DA-13	A	3D PERSPECTIVE 2
DA-14	A	PROPOSED SECTION A

DWG #	REV #	TITLE OF DRAWING
DA-15	A	PROPOSED SECTION B
DA-16	A	DETAILS - STAIRS
DA-17	A	DETAILS - ACCESS TOILET
DA-18	A	DETAILS - STREETSCAPE COLOURBOARD
DA-19	A	DETAILS - DOOR & WINDOW TAGS PLAN
DA-20	A	DETAILS - DOOR & WINDOW SCHEDULES
DA-21	A	SITE DETAIL - SITE SETOUT PLAN
DA-22	A	SITE DETAIL - SLAB SETOUT PLAN
DA-23	A	SITE DETAIL- EROSION CONTROL NOTES & PLAN
DA-24	A	SITE DETAIL- CUT & FILL PLAN
DA-25	A	SITE DETAIL - LANDSCAPE PLAN
DA-26	A	SITE DETAIL - VEHICULAR TURNING CIRCLES PLAN
DA-27	A	SITE DETAIL - s138 VEHICULAR ACCESS PLAN
NP-01	A	NOTIFICATION PLAN

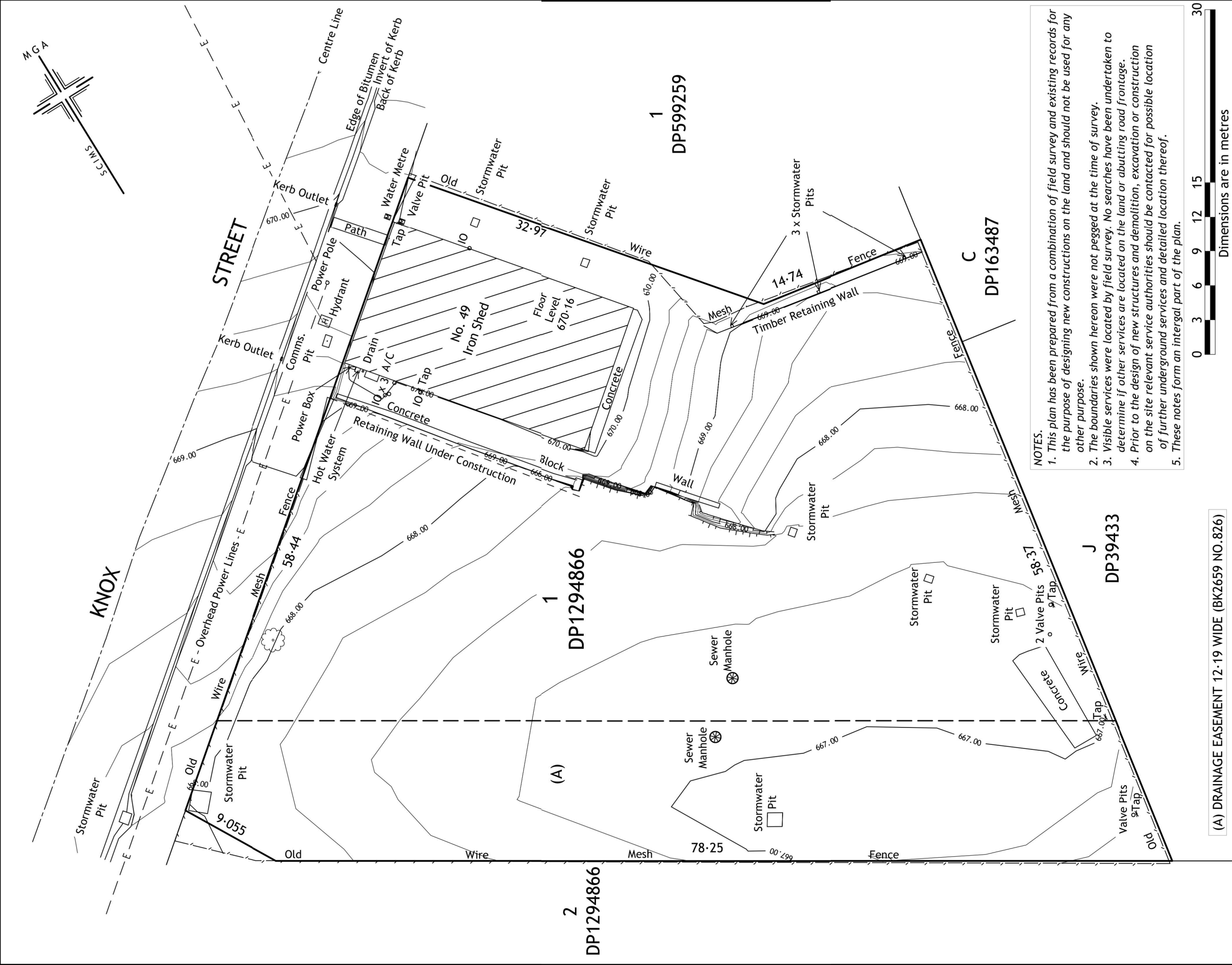
ISSUED FOR DEVELOPMENT APPLICATION

ISSUED FOR

DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div><div>P: 02 4822 5934</div><div>ABN: 71425067537</div><div>ROSS PLACE</div><div>GOULBURN NSW 2580</div></div><div><div>NOMINATED ARCHITECT:</div><div>TIM LEE</div><div>NSW REG: 7304</div><div>ACT REG: 1030</div></div></div></div>	DRAWING TITLE		DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	NEW INDUSTRIAL RETAIL OUTLET		TITLE		APRIL 24	TL
A	ISSUED FOR DEVELOPMENT APPLICATION	10.06.2025	CLIENT		LOT AND DEPOSITED PLAN NO.		DRAWING SCALE	DRAWN BY
Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.			THOMPSON DELL		LOT 1 DP 1294866		AT SHEET SIZE	JOB NUMBER
					STREET ADDRESS		DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
				49 KNOX STREET, GOULBURN NSW 2580		DA-01	A	



NOTES.

1. This plan has been prepared from a combination of field survey and existing records for the purpose of designing new constructions on the land and should not be used for any other purpose.
2. The boundaries shown hereon were not pegged at the time of survey.
3. Visible services were located by field survey. No searches have been undertaken to determine if other services are located on the land or abutting road frontage.
4. Prior to the design of new structures and demolition, excavation or construction on the site relevant service authorities should be contacted for possible location of further underground services and detailed location thereof.
5. These notes form an integral part of the plan.

(A) DRAINAGE EASEMENT 12.19 WIDE (BK2659 NO.826)

SCALE - 1:300  
AZIMUTH - MGA  
CONTOUR INTERVAL - 0.25m  
DATUM - AHD (PM8770)  
DATE - 6/11/2023  
REF - P000731

PLAN SHOWING  
DETAIL SURVEY AND CONTOURS  
LOT 1 DP1294866  
49 KNOX STREET, GOULBURN



Premise

GOULBURN OFFICE  
3/31 Clinton Street  
PO Box 142  
GOULBURN NSW 2580  
T: 02 4822 1366  
E: goulburn@premise.com.au





ALL LEVELS ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.

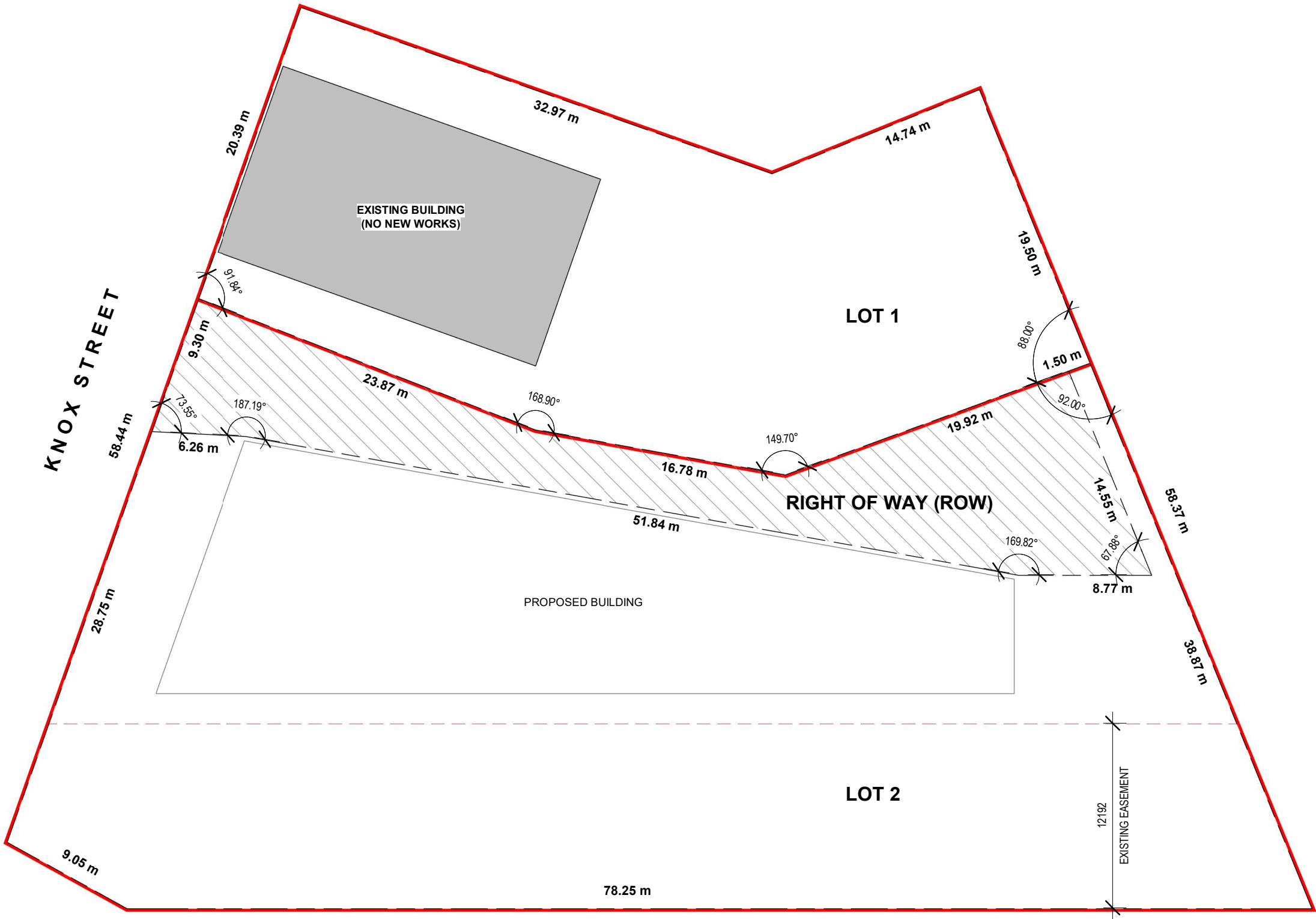
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REFER TO COMPLIANCE NOTES FOR GENERAL NOTES

SUBDIVISION - AREAS	
LOT 1 - SITE AREA	1101.80 m <sup>2</sup>
LOT 2 - SITE AREA	2475.75 m <sup>2</sup>

SUBDIVISION - ROW AREA	
ROW (PART OF LOT 2 AREA)	419.67 m <sup>2</sup>

SITE AREA - TOTAL	
SITE AREA	3577.55 m <sup>2</sup>



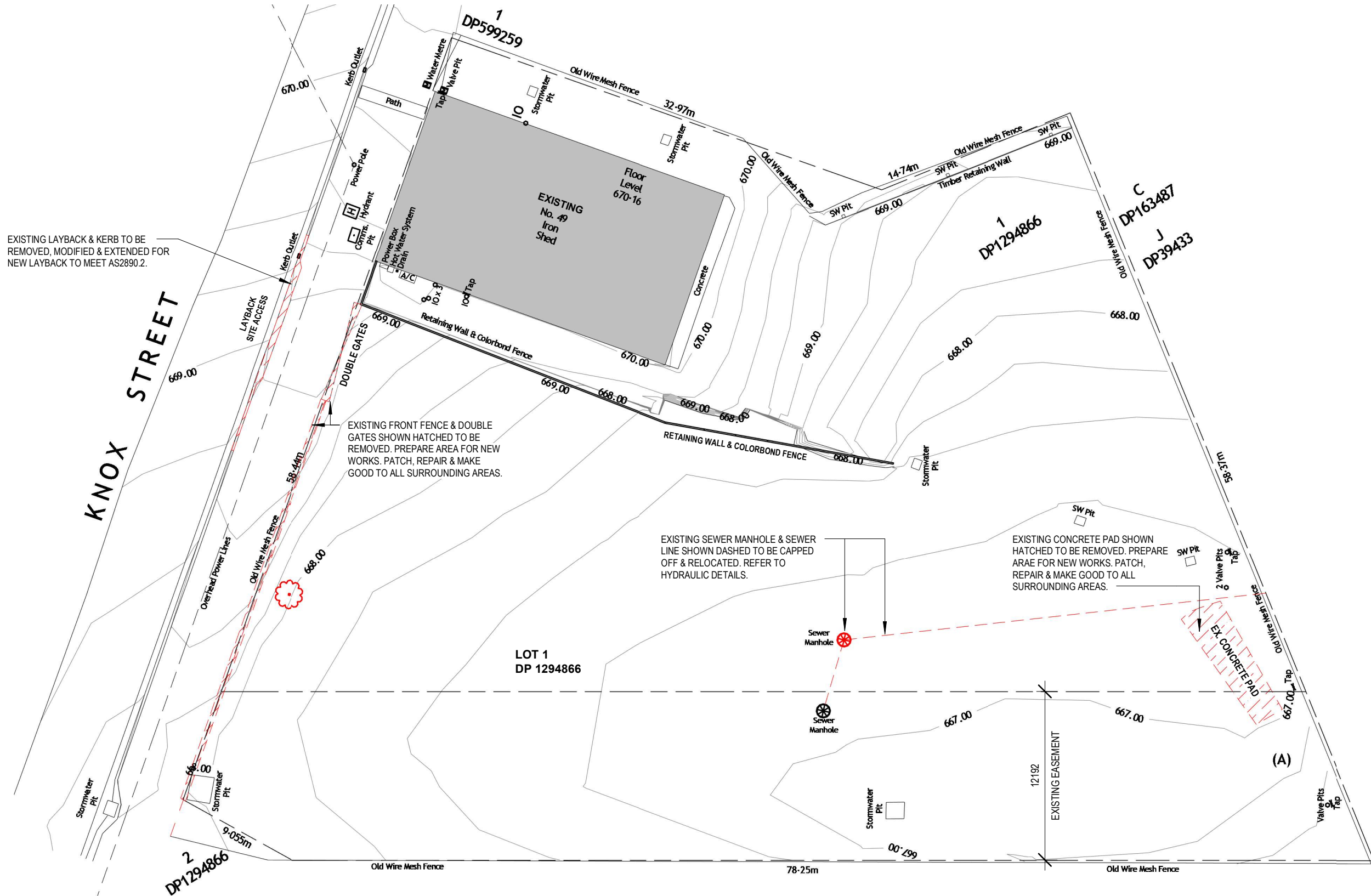
1 TORRENS TITLE SUBDIVISION PLAN  
1 : 300 @ A3



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					STREET ADDRESS	AT SHEET SIZE	JOB NUMBER
				49 KNOX STREET, GOULBURN NSW 2580	A3 SHEET	0124-1638	
					DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE	
					DA-04	A	





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1 EXISTING / DEMOLITION SITE PLAN  
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DRAWING AMENDMENTS			PROJECT TITLE NEW INDUSTRIAL RETAIL OUTLET		<div><div><div></div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div>	DRAWING TITLE EXISTING / DEMOLITION SITE PLAN		DRAWING COMMENCED APRIL 24		DRAWING VERIFIED BY AW	
REVISION A	DESCRIPTION ISSUED FOR DEVELOPMENT APPLICATION	DATE 10.06.2025	CLIENT THOMPSON DELL			LOT AND DEPOSITED PLAN NO.  LOT 1 DP 1294866		DRAWING SCALE As indicated		DRAWN BY TL	
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								DRAWING IDENTIFICATION NUMBER DA-05		AMENDMENT ISSUE A	



INGRESS INTO & EGRESS FROM THE SITE, CARPARKING & ACCESS, DRIVEWAY WIDTHS & TURNING CIRCLES MUST BE DESIGNED INSTALLED TO MEET AS2890, AS1428, NCC, & COUNCIL'S STANDARD ENGINEERING DETAILS.

SCREEN & ACCESS GATE SURROUNDING WATER TANKS. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

WATER TANKS ON 100mm CONCRETE SLAB, CONNECT OVERFLOW TO EXISTING STORMWATER SYSTEM. TANKS TO BE SUNK INTO THE GROUND.

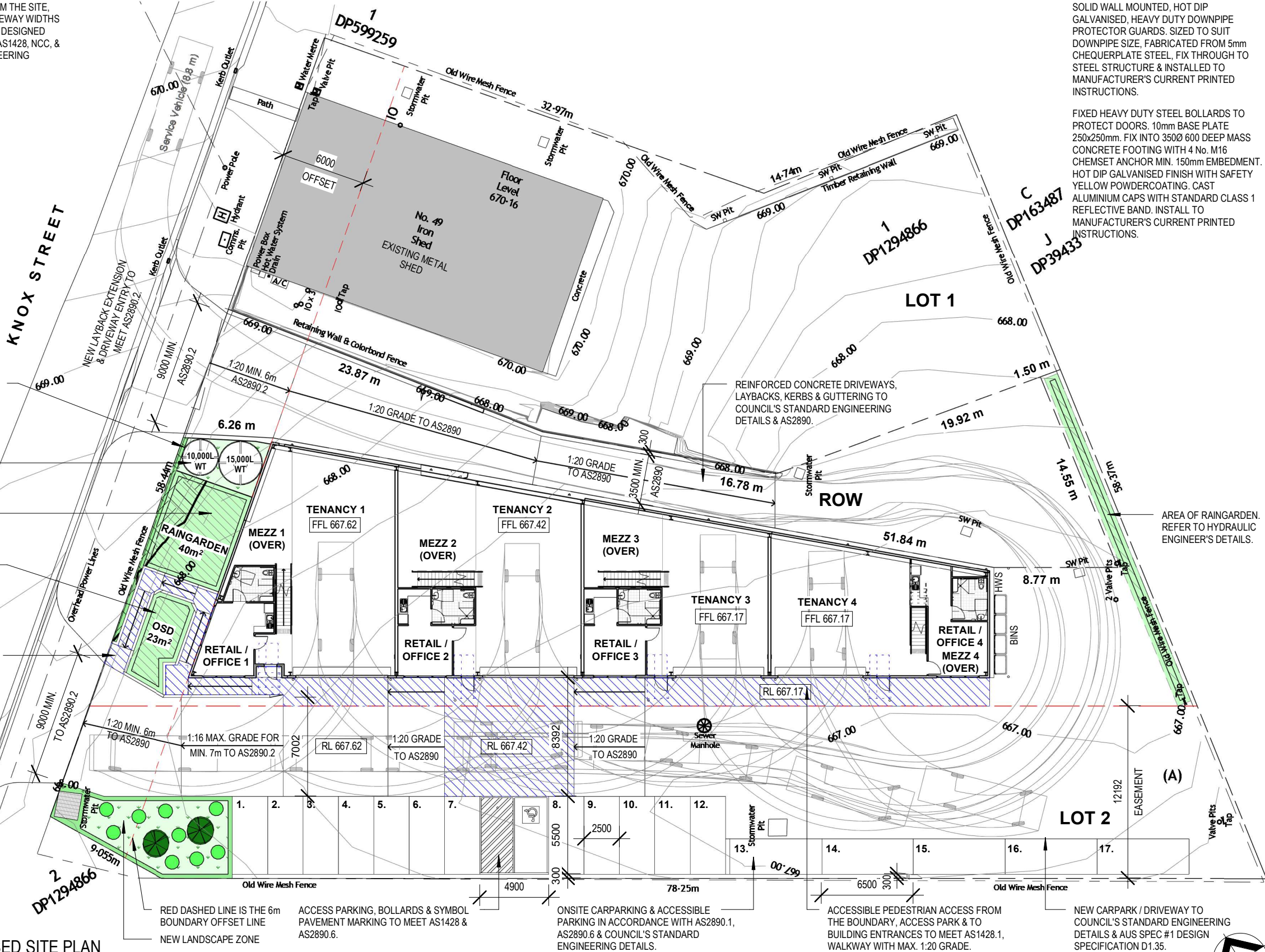
AREA OF RAINGARDEN. REFER TO HYDRAULIC ENGINEER'S DETAILS.

AREA OF OSD. REFER TO HYDRAULIC ENGINEER'S DETAILS.

AS1428.1 ACCESSIBLE WALKWAYS & LANDINGS FROM FRONT BOUNDARY TO BUILDING ENTRY POINTS TO MEET NCC D4D3.

NEW LAYBACK & DRIVEWAY ENTRY TO MEET AS2890.2.

**1** PROPOSED SITE PLAN  
1 : 300 @ A3



SOLID WALL MOUNTED, HOT DIP GALVANISED, HEAVY DUTY DOWNPIPE PROTECTOR GUARDS. SIZED TO SUIT DOWNPIPE SIZE, FABRICATED FROM 5mm CHEQUERPLATE STEEL, FIX THROUGH TO STEEL STRUCTURE & INSTALLED TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

FIXED HEAVY DUTY STEEL BOLLARDS TO PROTECT DOORS. 10mm BASE PLATE 250x250mm. FIX INTO 3500 600 DEEP MASS CONCRETE FOOTING WITH 4 No. M16 CHEMSET ANCHOR MIN. 150mm EMBEDMENT. HOT DIP GALVANISED FINISH WITH SAFETY YELLOW POWDERCOATING. CAST ALUMINIUM CAPS WITH STANDARD CLASS 1 REFLECTIVE BAND. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

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SITE AREA - TOTAL	
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SUBDIVISION - ROW AREA	
ROW (PART OF LOT 2 AREA)	419.67 m <sup>2</sup>

EXISTING SHED	
EXISTING SHED	290.29 m <sup>2</sup>

SHED 1 AREAS	
SHED 1 - OFFICE	31.47 m <sup>2</sup>
SHED 1 - MEZZ	47.41 m <sup>2</sup>
SHED 1 - SHED	148.95 m <sup>2</sup>
	227.84 m <sup>2</sup>

SHED 2 AREAS	
SHED 2 - OFFICE	28.76 m <sup>2</sup>
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SHED 4 AREAS	
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SHED 4 - OFFICE	36.18 m <sup>2</sup>
SHED 4 - SHED	97.24 m <sup>2</sup>
	168.87 m <sup>2</sup>

TOTAL FLOOR AREAS	
MEZZANINES	217.81 m <sup>2</sup>
SHED & RETAIL / OFFICES	665.64 m <sup>2</sup>
	883.44 m <sup>2</sup>

ROOF AREA (APPROX.)	
ROOF AREA	774.15 m <sup>2</sup>

INDUSTRIAL BUILDING CARPARKING	
1 SPACE PER 100m <sup>2</sup> OF GFA	9
1 SPACE PER 40m <sup>2</sup> OF OFFICE GFA	4
1 SPACE PER 37m <sup>2</sup> OF RETAIL GFA	4
ACCESSIBLE 1 PER 100 CARPARKS	1

1 ACCESSIBLE + 17

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#### DRAWING AMENDMENTS

REVISION	DESCRIPTION	DATE
A	ISSUED FOR DEVELOPMENT APPLICATION	10.06.2025

PROJECT TITLE

NEW INDUSTRIAL RETAIL OUTLET

CLIENT

THOMPSON DELL

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(C)

**TIM LEE ARCHITECTS**  
residential commercial industrial

P: 02 4822 5934  
ABN: 71425067537  
ROSS PLACE  
GOULBURN NSW  
2580

NOMINATED ARCHITECT:  
TIM LEE  
NSW REG: 7304  
ACT REG: 1030

DRAWING TITLE

PROPOSED SITE PLAN

LOT AND DEPOSITED PLAN NO.

LOT 1 DP 1294866

STREET ADDRESS

49 KNOX STREET, GOULBURN NSW 2580

DRAWING COMMENCED

APRIL 24

DRAWING SCALE

As indicated

AT SHEET SIZE

A3 SHEET

DRAWING IDENTIFICATION NUMBER

DA-06

DRAWING VERIFIED BY

T.L.

DRAWN BY

AW

JOB NUMBER

0124-1638

AMENDMENT ISSUE

A



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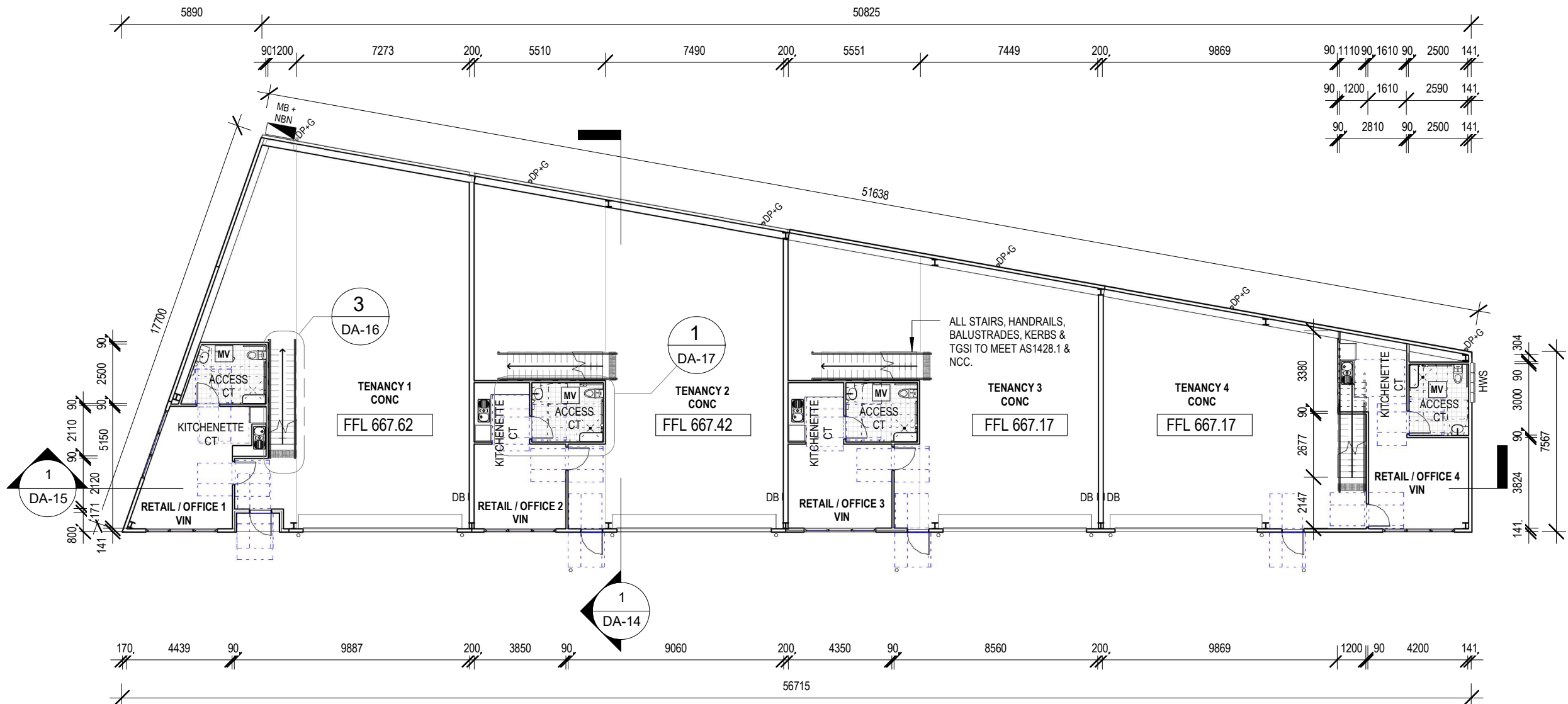
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SHED 4 AREAS	
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SHED 4 - OFFICE	36.18 m <sup>2</sup>
SHED 4 - SHED	97.24 m <sup>2</sup>
	168.87 m <sup>2</sup>

TOTAL FLOOR AREAS	
MEZZANINES	217.81 m <sup>2</sup>
SHED & RETAIL / OFFICES	665.64 m <sup>2</sup>
	883.44 m <sup>2</sup>

ROOF AREA (APPROX.)	
ROOF AREA	774.15 m <sup>2</sup>



1 PROPOSED GROUND FLOOR PLAN  
1 : 200 @ A3



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			CLIENT THOMPSON DELL		LOT AND DEPOSITED PLAN NO.  LOT 1 DP 1294866	DRAWING SCALE As indicated	DRAWN BY AW
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				STREET ADDRESS 49 KNOX STREET, GOULBURN NSW 2580	DRAWING IDENTIFICATION NUMBER DA-07	AMENDMENT ISSUE A	

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#### SHED 4 AREAS

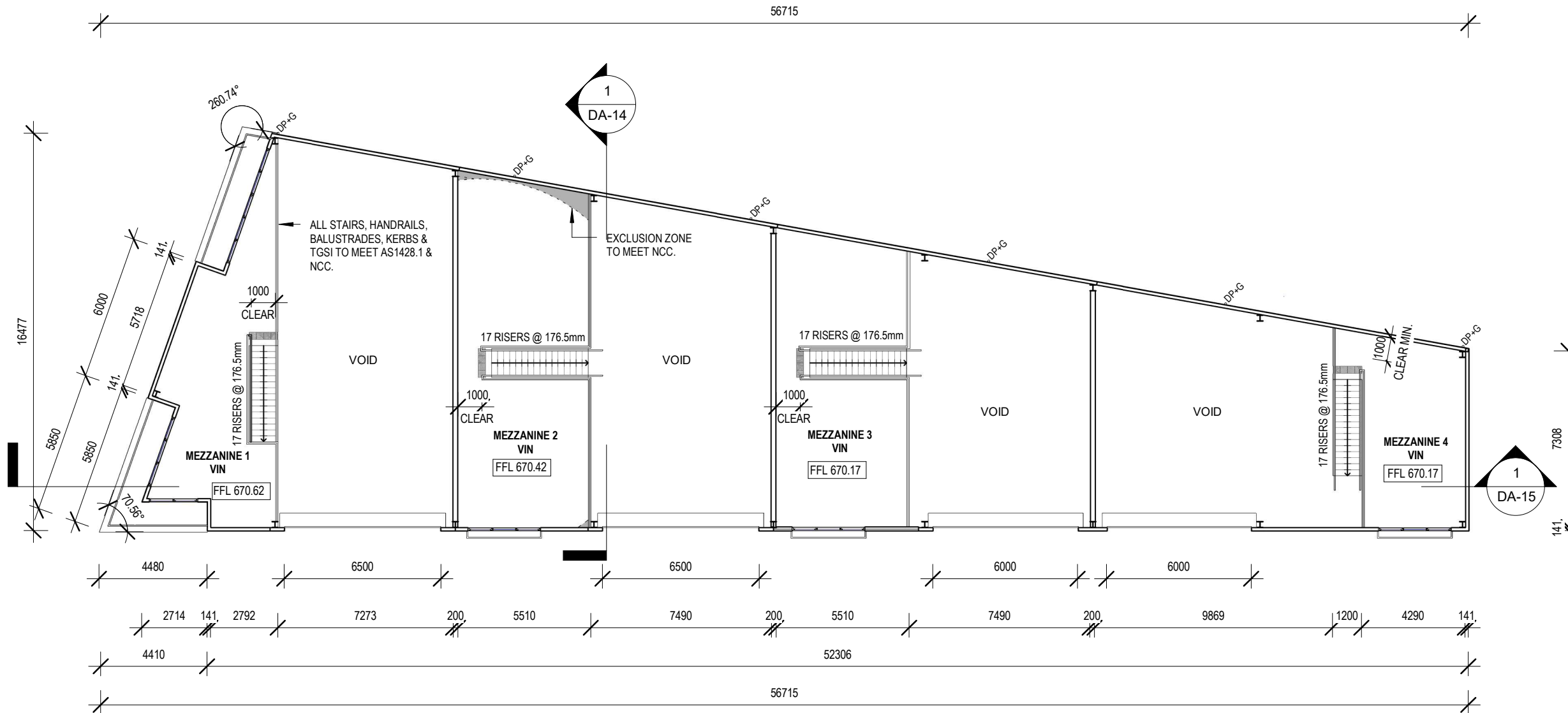
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#### TOTAL FLOOR AREAS

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SHED & RETAIL / OFFICES	665.64 m <sup>2</sup>
	883.44 m <sup>2</sup>

#### ROOF AREA (APPROX.)

ROOF AREA	774.15 m <sup>2</sup>
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1 PROPOSED MEZZANINE FLOOR PLAN  
1 : 200 @ A3



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					AMENDMENT ISSUE			A	



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CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.

NOTE : SITE INFORMATION HAS BEEN ASSUMED, FINAL SET OUT, SITE LEVELS, CONTOURS, FLOOR LEVELS, ETC, TO BE CONFIRMED ONSITE BY SURVEYOR PRIOR TO COMMENCING WORKS.

REFER TO COMPLIANCE NOTES FOR GENERAL NOTES



SITE AREA - TOTAL	
SITE AREA	3577.55 m <sup>2</sup>

SUBDIVISION - AREAS	
LOT 1 - SITE AREA	1101.80 m <sup>2</sup>
LOT 2 - SITE AREA	2475.75 m <sup>2</sup>

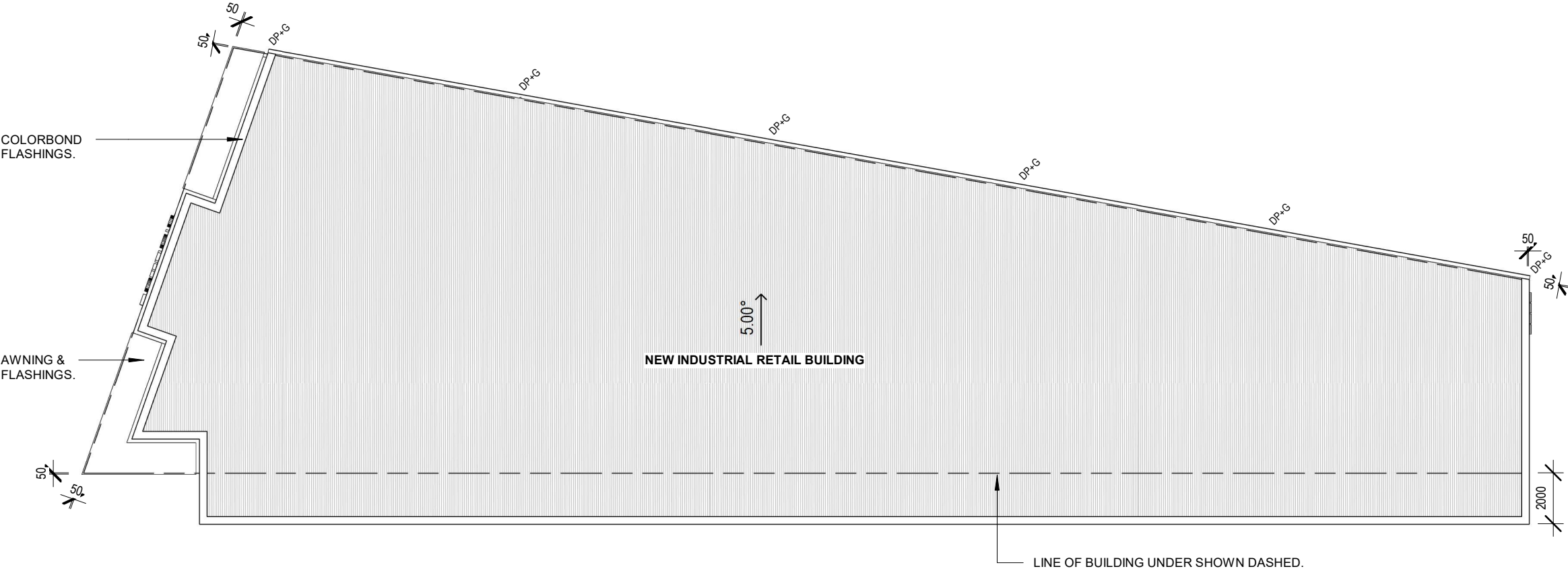
SUBDIVISION - ROW AREA	
ROW (PART OF LOT 2 AREA)	419.67 m <sup>2</sup>

TOTAL FLOOR AREAS	
MEZZANINES	217.81 m <sup>2</sup>
SHED & RETAIL / OFFICES	665.64 m <sup>2</sup>

ROOF AREA (APPROX.)	
ROOF AREA	774.15 m <sup>2</sup>

ROOF LEGEND	
DP	STEEL QUAD GUTTERING WITH COLORBOND 90mm Ø DOWNPIPES, COLORBOND FINISH. CONNECT TO WATER TANKS, THEN RAINGARDENS, OVERFLOW TO STORMWATER SYSTEM.
	PROFILED CORRUGATED SHEET STEEL ROOFING, COLORBOND FINISH, FASCIAS, GUTTERS AND FLASHINGS. FIX IN ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. ROOF FRAMING & ROOF BATTENS TO ENGINEER'S DETAILS.
	AWNING TO BE EXOTEC FACADE PANEL & FIXING SYSTEM. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS & TO ENGINEER'S DETAILS.

ROOF DRAINAGE SYSTEM INSTALLED IN ACCORDANCE WITH ROOF DRAINAGE SYSTEMS - DESIGN AS/NZS 3500.3.



1 PROPOSED ROOF PLAN  
1 : 200 @ A3



ISSUED FOR  
DEVELOPMENT APPLICATION  
**NOT FOR CONSTRUCTION**

DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div><div>P: 02 4822 5934</div><div>ABN: 71425067537</div><div>ROSS PLACE</div><div>GOULBURN NSW 2580</div><div>NOMINATED ARCHITECT:</div><div>TIM LEE</div><div>NSW REG: 7304</div><div>ACT REG: 1030</div></div><div><div>C</div></div></div>	DRAWING TITLE	DRAWING COMMENCED		DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	NEW INDUSTRIAL RETAIL OUTLET		PROPOSED ROOF PLAN	APRIL 24	TL	
A	ISSUED FOR DEVELOPMENT APPLICATION	10.06.2025	CLIENT		LOT AND DEPOSITED PLAN NO.	DRAWING SCALE	DRAWN BY	
			THOMPSON DELL		LOT 1 DP 1294866	As indicated	AW	
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.		STREET ADDRESS	AT SHEET SIZE	JOB NUMBER	
					49 KNOX STREET, GOULBURN NSW 2580	A3 SHEET	0124-1638	
					DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE		
					DA-09	A		



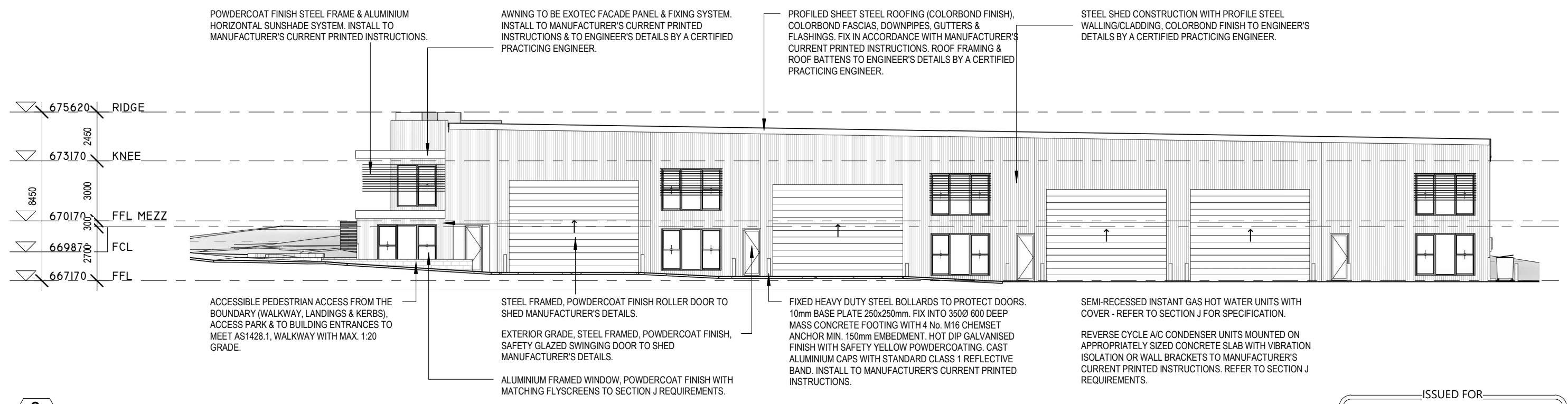
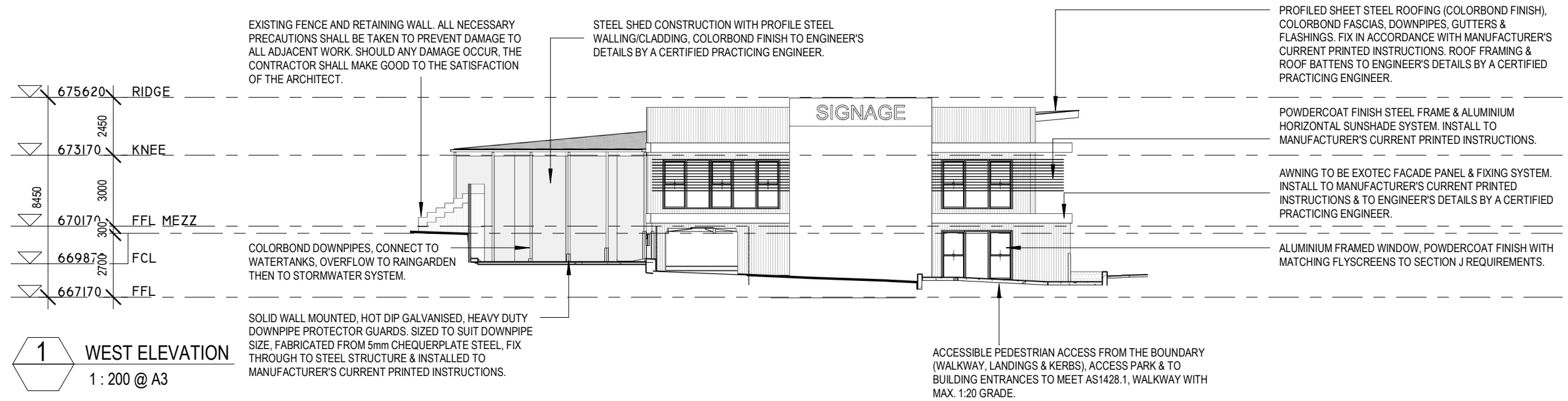


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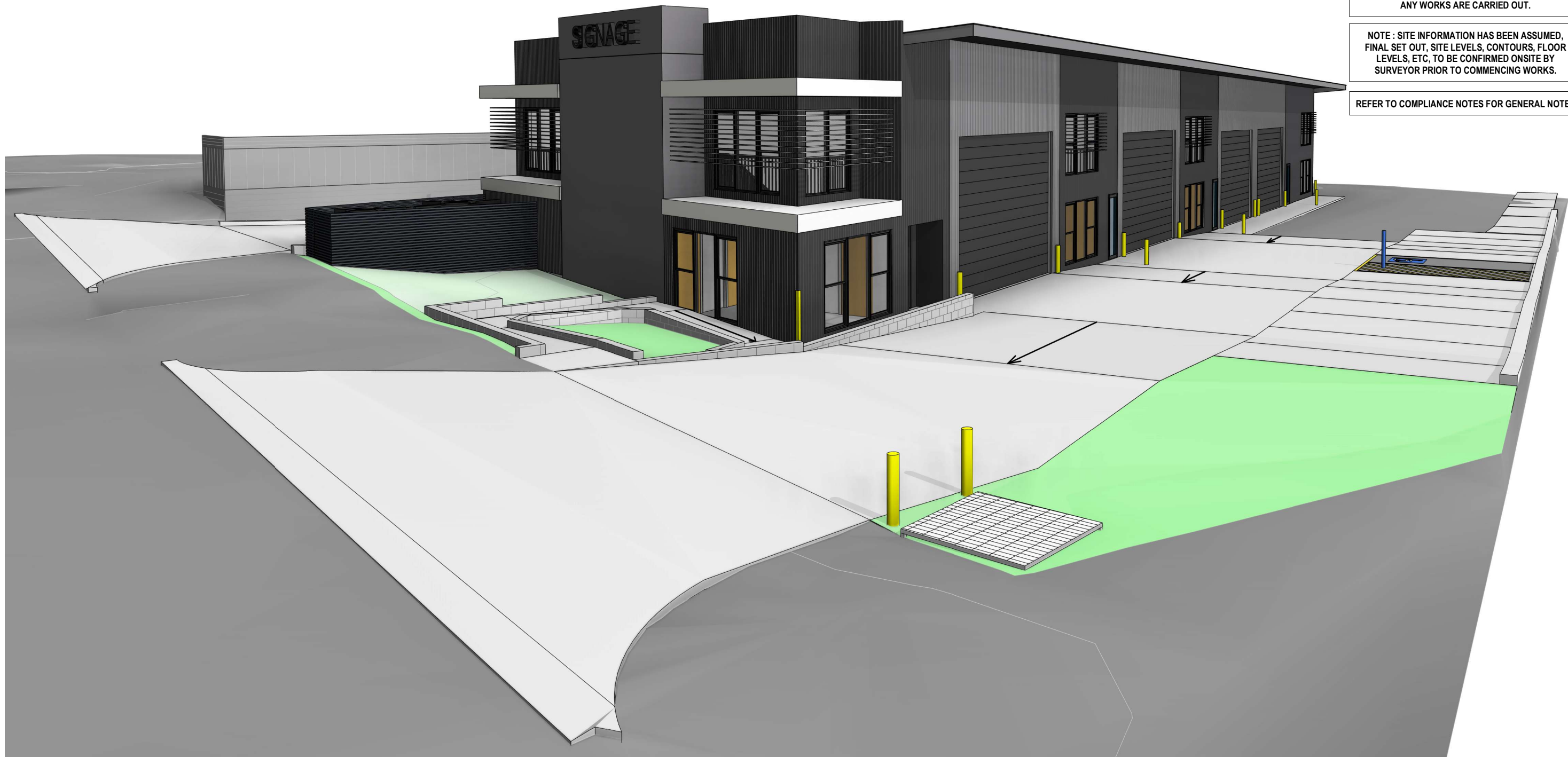
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REFER TO COMPLIANCE NOTES FOR GENERAL NOTES



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DRAWING AMENDMENTS			PROJECT TITLE	+ TIM LEE ARCHITECTS residential commercial industrial P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	NEW INDUSTRIAL RETAIL OUTLET		PROPOSED ELEVATIONS 2	APRIL 24	TL
A	ISSUED FOR DEVELOPMENT APPLICATION	10.06.2025	CLIENT		LOT AND DEPOSITED PLAN NO.	As indicated	DRAWN BY AW
			THOMPSON DELL		LOT 1 DP 1294866	AT SHEET SIZE A3 SHEET	JOB NUMBER 0124-1638
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.		STREET ADDRESS	DRAWING IDENTIFICATION NUMBER DA-11	AMENDMENT ISSUE A
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1 3D PERSPECTIVE 1  
@ A3

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DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div>	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE			3D PERSPECTIVE 1	APRIL 24	TL
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						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
						DA-12	A





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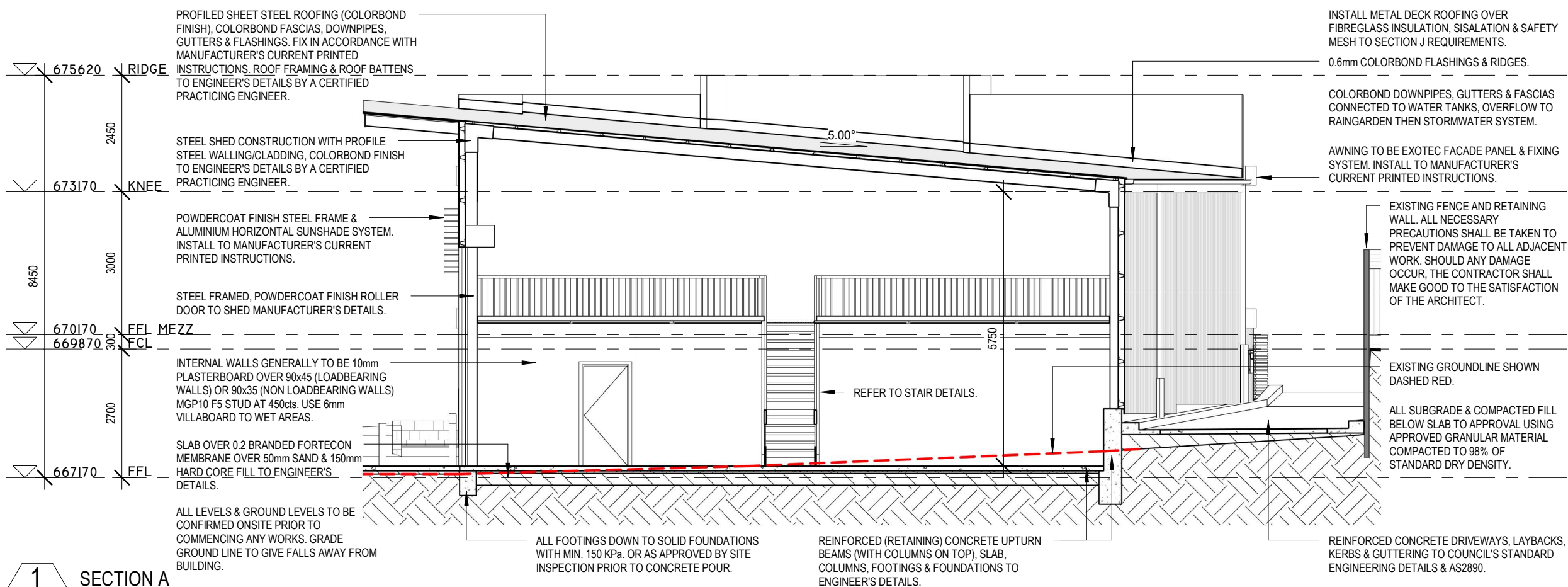
1 3D PERSPECTIVE 2  
@ A3



2 3D PERSPECTIVE 3  
@ A3

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REVISION	DESCRIPTION	DATE	NEW INDUSTRIAL RETAIL OUTLET		3D PERSPECTIVE 2	APRIL 24	TL
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						A3 SHEET	0124-1638
						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
						DA-13	A
						STREET ADDRESS	
						49 KNOX STREET, GOULBURN NSW 2580	



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REFER TO COMPLIANCE NOTES FOR GENERAL NOTES

## 1 SECTION A

1 : 100 @ A3

### GENERAL NOTES:

PROVIDE TERMITE CONTROL TO ALL AREAS AS REQUIRED BY PART B OF THE BCA, AS 3660.1 & 3660.2.

INSTALL HARD WIRED SMOKE ALARMS TO AS 3786 ADJACENT TO SLEEPING AREAS AS DIRECTED ONSITE.

ALL WALLS TO BE FULLY SARKED, CSR BRADFORD WALLWRAP XP OR EQUAL.

RANGE HOODS EXHAUST SYSTEMS TO HAVE A MINIMUM FLOW RATE OF 40L/s.

EXHAUSTS FROM BATHROOMS & LAUNDRY MUST BE DISCHARGED DIRECTLY OR VIA A SHAFT OR DUCT TO OUTSIDE AIR. MECHANICAL VENTILATION & LIGHTING TO MEET PART F4 OF THE BCA. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

CONNECT ALL NEW DOWNPIPES TO NEW WATER TANKS, OVERFLOW TO STORMWATER SYSTEM.

GRADE GROUND LINE TO GIVE FALLS AWAY FROM BUILDING.

ALL WORK TO BE CARRIED OUT BY COMPETENT, SKILLED & QUALIFIED TRADESPEOPLE HOLDING CURRENT CERTIFICATION WITH THE REQUIRED AUTHORITY.

PROVIDE ALL MATERIALS, LABOUR & EQUIPMENT NECESSARY TO COMPLETE THE WORK AS PER THE DRAWING SET & ASSOCIATED DOCUMENTATION.

INSTALL ALL PRODUCTS TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

### CONCRETE SLABS & FOUNDATIONS

ALL SUB-GRADE & COMPACTED FILL BELOW SLAB TO APPROVAL USING APPROVED GRANULAR MATERIAL COMPACTED TO 98% OF STANDARD DRY DENSITY. ALL FOOTINGS DOWN TO SOLID FOUNDATIONS WITH MIN. 150KPa. OR A APPROVED BY ENGINEER SITE INSPECTION PRIOR TO CONCRETE POUR. - A JAS-ANZ ACCREDITED 3RD PARTY PROCESSOR CERTIFICATE (ACRS OR EQUIVALENT) MUST BE SUPPLIED WITH ALL STEEL REINFORCEMENT AT PROCUREMENT, BEFORE ANY CONCRETE IS PLACED, TO GUARANTEE CONFORMANCE OF THE REINFORCEMENT TO AS/NZS 4671.

MINIMUM BEARING PRESSURE 150KPa. ONO.

FILL & FILL COMPACTION TO ENGINEER'S DETAILS.

50mm SET DOWN FOR THRESHOLD AT ROLLER DOOR OPENING.

50mm SET DOWN FOR WET AREAS.

### FRAMING

TIMBER FRAME BRACING, TIE-DOWNS & JOINT SCHEDULE TO BE DESIGNED & CERTIFIED BY THE FRAME FABRICATOR IN ACCORDANCE WITH AS1684 (NATIONALTIMBER FRAMING CODE).

### CEILINGS

10mm PLASTERBOARD CEILING LINING SCREW FIXED TO 'RONDO' CEILING BATTENS AT 450cts. 'RONDO' CEILING BATTENS NAILED TO UNDERSIDE OF TRUSSES OR JOISTS . INSTALL AL FITTINGS & FIXTURES TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. 90mm STANDARD PROFILE PLASTERBOARD CORNICE.

### WALLS

INTERNAL WALLS GENERALLY TO BE 10mm PLASTERBOARD OVER 90x45 (LOADBEARING WALL) OR 90x35 (NON LOADBEARING WALLS) MGP10 F5 STUD AT 450cts. USE 6mm VILLABOARD TO WET AREAS.

### EXTERIOR WALLS - MASONRY

WEEPHOLES TO EVERY THIRD PERPEND. SUPER ALCOR DCP OVER WEEPHOLES.

FORM 12mm EJ TO EACH BRICK SKIN WITH 50mm ABELFLEX STRIP. FILL JOINT WITH POLYETHYLENE FOAM BACKING ROD & SEAL WITH COLOURED MASTIC. EJ AT MAX. 9m cts UNLESS OTHERWISE SPECIFIED. SLIP JOINT BETWEEN CONCRETE SLAB & SUPPORTING MASONRY WALLS. CLEAR ALL PERPENDS TO LOWEST COURSE.

### EXTERIOR WALLS - CLADDING

EXTERIOR GRADE CLADDING OVER ENVIROSEAL OR BRADFORD WALLWRAP XP (BAL RATED). FIX INTERNAL LINING OVER INSULATION (REFER TO SECTION J REQUIREMENTS) & SISALATION. CLIENT SELECTED COLOUR EXTERIOR PAINT TO A LEVEL 4 PAINT FINISH. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

### ROOF

PROFILLED SHEET STEEL ROOFING (COLORBOND FINISH), COLORBOND FASCIAS, GUTTERS & FLASHINGS. FIX IN ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. ROOF FRAMING & ROOF BATTTENS TO AS1684.

### WET AREAS

WET AREAS SHOWN HATCHED, LAY SELECTED NON-SLIP CERAMIC TILES TO EQUAL R11 / P4 ON MORTAR BED GRADED TO GIVE FALLS TO FW'S AS SHOWN. AREAS TO BE TREATED IN ACCORDANCE WITH AUSTRALIAN STANDARDS AS 3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.

THE WATERPROOFING SYSTEM TO BE APPROPRIATE FOR THE BASE CONSTRUCTION. DO NOT WATERPROOF OVER PARTICLE BOARD OR TIMBER FLOORING.

PROVIDE EVIDENCE OF MANUFACTURER'S PRODUCT INSTALLATION DATA SHEETS & REQUIREMENTS.

INSTALL ALL PRODUCTS TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

### TILING

TILING TO BE COMPLETED WITH NO RAISED EDGES OR TIGHT JOINTS.

APPROPRIATE TRIMS & FINISH BEADS TO BE INSTALLED.

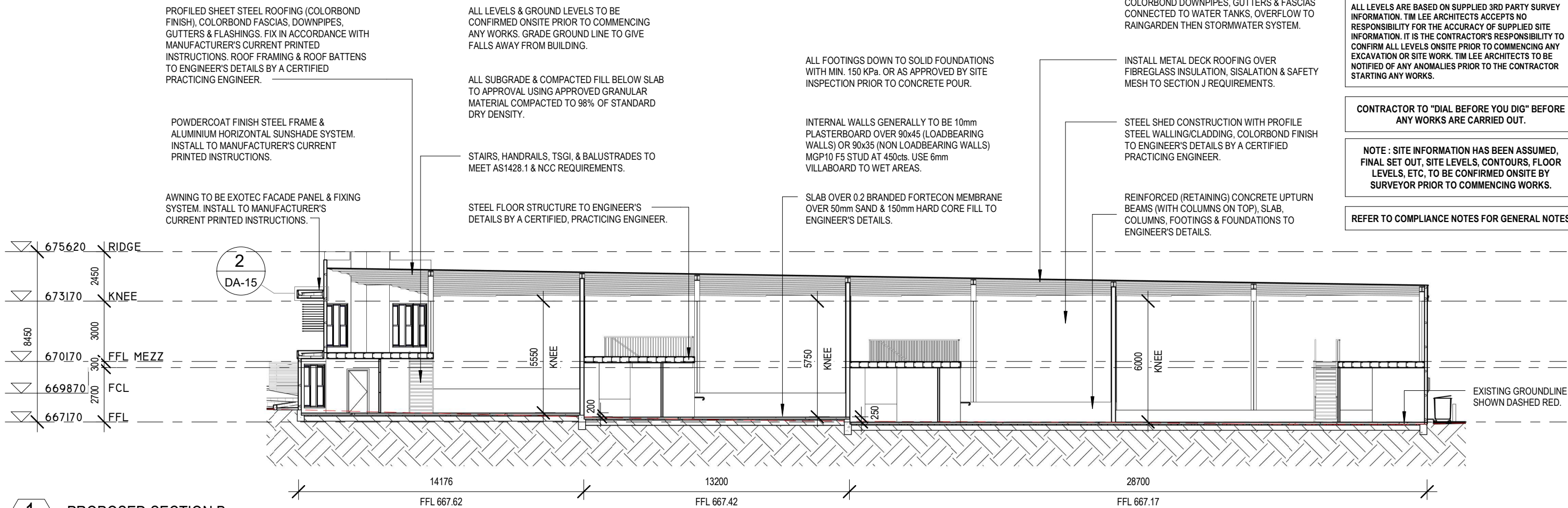
SUB-STANDARD TILING WILL BE REJECTED. REJECTED WORK TO BE REMOVED. BASE WORK IS TO BE PREPARED & NEW MATCHING MATERIALS SUPPLIED & LAID AT CONTRACTOR'S EXPENSE.

REFER TO COMPLIANCE NOTE SHEET FOR GENERAL NOTES.

ISSUED FOR  
DEVELOPMENT APPLICATION  
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DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div>	DRAWING TITLE		DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	NEW INDUSTRIAL RETAIL OUTLET		PROPOSED SECTION A		APRIL 24	TL
A	ISSUED FOR DEVELOPMENT APPLICATION	10.06.2025	CLIENT		LOT 1 DP 1294866		DRAWING SCALE	DRAWN BY
			THOMPSON DELL		STREET ADDRESS		1 : 100	AW
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						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE	
						DA-14	A	





1 PROPOSED SECTION B  
1 : 200 @ A3

GENERAL NOTES:

- PROVIDE TERMITE CONTROL TO ALL AREAS AS REQUIRED BY PART B OF THE BCA, AS 3660.1 & 3660.2.
- INSTALL HARD WIRED SMOKE ALARMS TO AS 3786 ADJACENT TO SLEEPING AREAS AS DIRECTED ONSITE.
- ALL WALLS TO BE FULLY SARKED, CSR BRADFORD WALLWRAP XP OR EQUAL.
- RANGE HOODS EXHAUST SYSTEMS TO HAVE A MINIMUM FLOW RATE OF 40L/s.
- EXHAUSTS FROM BATHROOMS & LAUNDRY MUST BE DISCHARGED DIRECTLY OR VIA A SHAFT OR DUCT TO OUTSIDE AIR. MECHANICAL VENTILATION & LIGHTING TO MEET PART F4 OF THE BCA. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- CONNECT ALL NEW DOWNPIPES TO NEW WATER TANKS, OVERFLOW TO STORMWATER SYSTEM.
- GRADE GROUND LINE TO GIVE FALLS AWAY FROM BUILDING.
- ALL WORK TO BE CARRIED OUT BY COMPETENT, SKILLED & QUALIFIED TRADESPEOPLE HOLDING CURRENT CERTIFICATION WITH THE REQUIRED AUTHORITY.
- PROVIDE ALL MATERIALS, LABOUR & EQUIPMENT NECESSARY TO COMPLETE THE WORK AS PER THE DRAWING SET & ASSOCIATED DOCUMENTATION.
- INSTALL ALL PRODUCTS TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

CONCRETE SLABS & FOUNDATIONS

- ALL SUB-GRADE & COMPACTED FILL BELOW SLAB TO APPROVAL USING APPROVED GRANULAR MATERIAL COMPACTED TO 98% OF STANDARD DRY DENSITY. ALL FOOTINGS DOWN TO SOLID FOUNDATIONS WITH MIN. 150KPa. OR A APPROVED BY ENGINEER SITE INSPECTION PRIOR TO CONCRETE POUR.
- A JAS-ANZ ACCREDITED 3RD PARTY PROCESSOR CERTIFICATE (ACRS OR EQUIVALENT) MUST BE SUPPLIED WITH ALL STEEL REINFORCEMENT AT PROCUREMENT, BEFORE ANY CONCRETE IS PLACED, TO GUARANTEE CONFORMANCE OF THE REINFORCEMENT TO AS/NZS 4671.
- MINIMUM BEARING PRESSURE 150KPa. ONO.
- FILL & FILL COMPACTION TO ENGINEER'S DETAILS.
- 50mm SET DOWN FOR THRESHOLD AT ROLLER DOOR OPENING.
- 50mm SET DOWN FOR WET AREAS.

FRAMING

- TIMBER FRAME BRACING, TIE-DOWNS & JOINT SCHEDULE TO BE DESIGNED & CERTIFIED BY THE FRAME FABRICATOR IN ACCORDANCE WITH AS1684 (NATIONALTIMBER FRAMING CODE).

CEILINGS

- 10mm PLASTERBOARD CEILING LINING SCREW FIXED TO 'RONDO' CEILING BATTENS AT 450cts. 'RONDO' CEILING BATTENS NAILED TO UNDERSIDE OF TRUSSES OR JOISTS. INSTALL AL FITTINGS & FIXTURES TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. 90mm STANDARD PROFILE PLASTERBOARD CORNICE.

WALLS

- INTERNAL WALLS GENERALLY TO BE 10mm PLASTERBOARD OVER 90x45 (LOADBEARING WALL) OR 90x35 (NON LOADBEARING WALLS) MGP10 F5 STUD AT 450cts. USE 6mm VILLABOARD TO WET AREAS.
- EXTERIOR WALLS - MASONRY
- WEEPHOLES TO EVERY THIRD PERPEND. SUPER ALCOR DCP OVER WEEPHOLES.
- FORM 12mm EJ TO EACH BRICK SKIN WITH 50mm ABELFLEX STRIP. FILL JOINT WITH POLYETHYLENE FOAM BACKING ROD & SEAL WITH COLOURED MASTIC. EJ AT MAX. 9m cts UNLESS OTHERWISE SPECIFIED. SLIP JOINT BETWEEN CONCRETE SLAB & SUPPORTING MASONRY WALLS. CLEAR ALL PERPENDS TO LOWEST COURSE.
- EXTERIOR WALLS - CLADDING
- EXTERIOR GRADE CLADDING OVER ENVIROSEAL OR BRADFORD WALLWRAP XP (BAL RATED). FIX INTERNAL LINING OVER INSULATION (REFER TO SECTION J REQUIREMENTS) & SISALATION. CLIENT SELECTED COLOUR EXTERIOR PAINT TO A LEVEL 4 PAINT FINISH. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

ROOF

- PROFILED SHEET STEEL ROOFING (COLORBOND FINISH), COLORBOND FASCIAS, GUTTERS & FLASHINGS. FIX IN ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. ROOF FRAMING & ROOF BATTENS TO AS1684.

- 50 SHS FRAME TO AWNING, SHEETED WITH EXOTEC FACADE PANEL & FIXING SYSTEM. INSTALLED TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS

- AWNING CONSTRUCTION / STEEL FRAME / CONNECTION TO BUILDING TO ENGINEER'S DETAILS.

2 TYPICAL AWNING DETAIL  
1 : 100 @ A3

WET AREAS

- WET AREAS SHOWN HATCHED, LAY SELECTED NON-SLIP CERAMIC TILES TO EQUAL R11 / P4 ON MORTAR BED GRADED TO GIVE FALLS TO FW'S AS SHOWN. AREAS TO BE TREATED IN ACCORDANCE WITH AUSTRALIAN STANDARDS AS 3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.
- THE WATERPROOFING SYSTEM TO BE APPROPRIATE FOR THE BASE CONSTRUCTION. DO NOT WATERPROOF OVER PARTICLE BOARD OR TIMBER FLOORING.
- PROVIDE EVIDENCE OF MANUFACTURER'S PRODUCT INSTALLATION DATA SHEETS & REQUIREMENTS.
- INSTALL ALL PRODUCTS TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

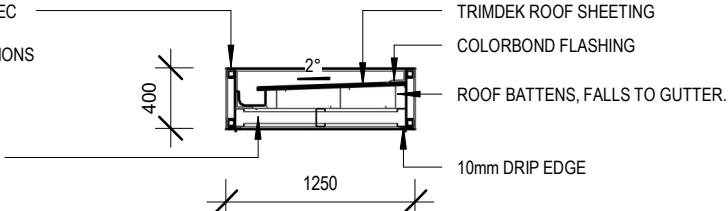
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REFER TO COMPLIANCE NOTES FOR GENERAL NOTES



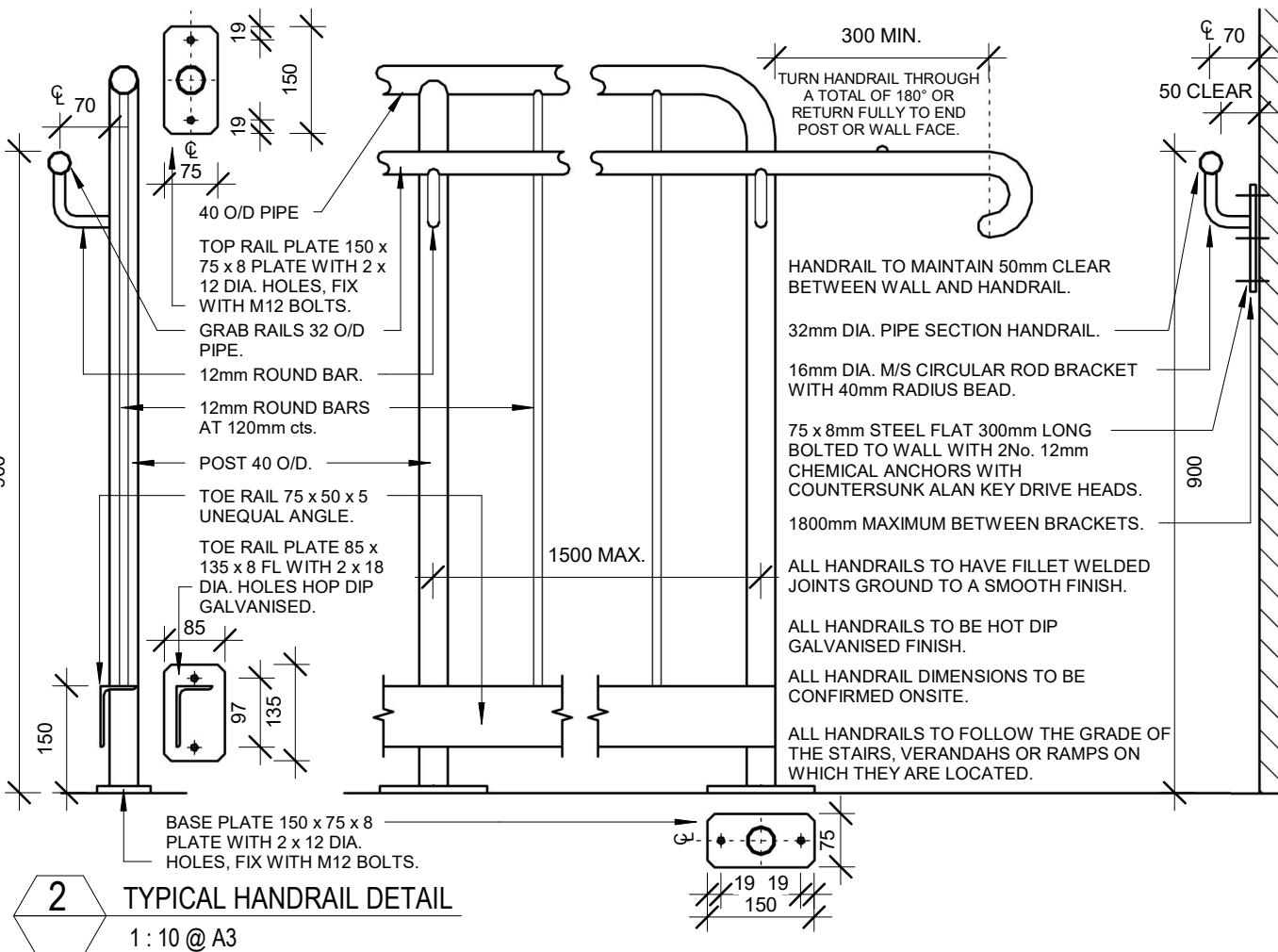
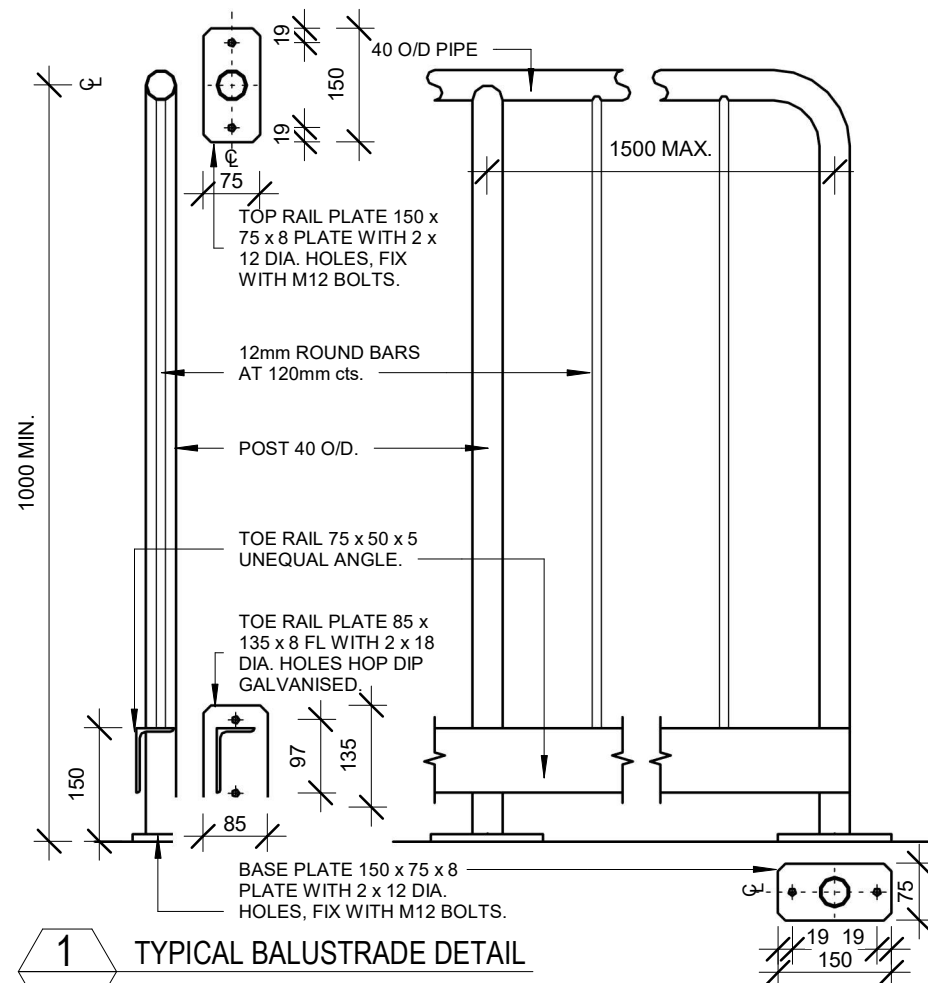
TILING

- TILING TO BE COMPLETED WITH NO RAISED EDGES OR TIGHT JOINTS.
- APPROPRIATE TRIMS & FINISH BEADS TO BE INSTALLED.
- SUB-STANDARD TILING WILL BE REJECTED. REJECTED WORK TO BE REMOVED. BASE WORK IS TO BE PREPARED & NEW MATCHING MATERIALS SUPPLIED & LAID AT CONTRACTOR'S EXPENSE.

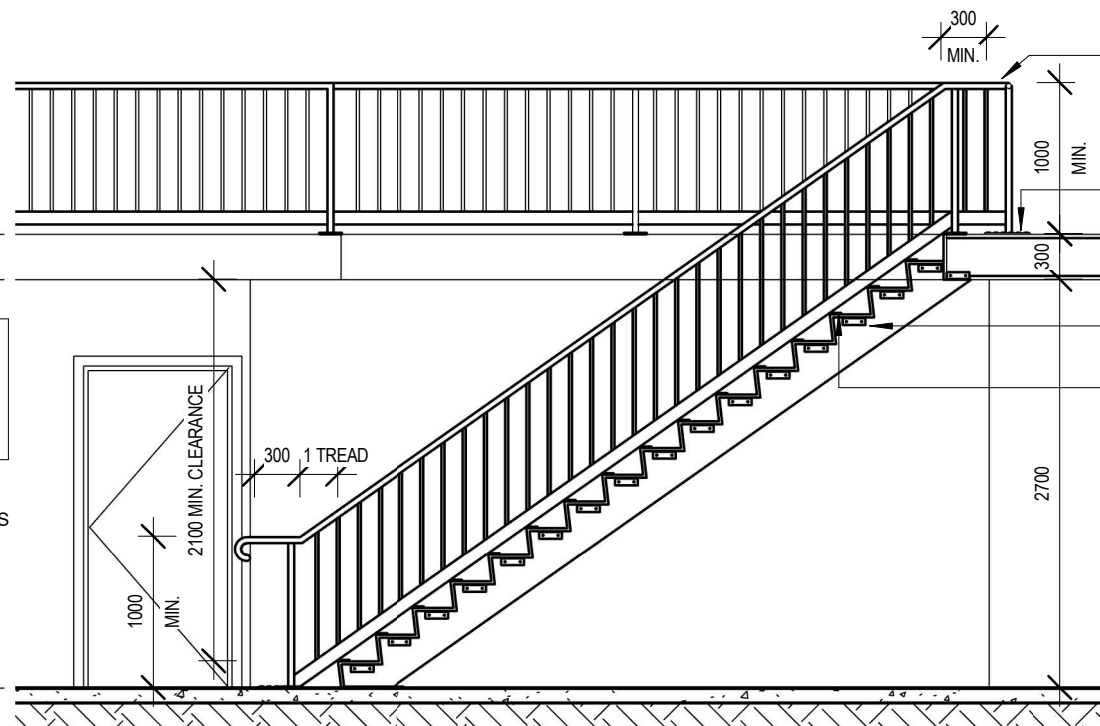
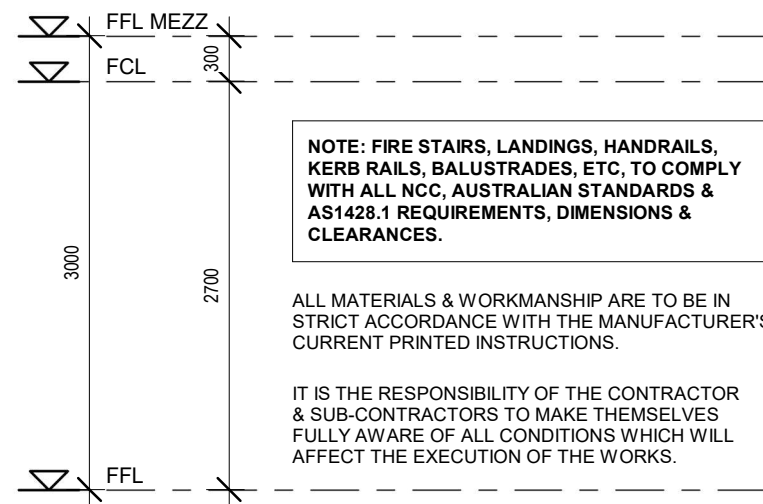
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DRAWING AMENDMENTS			PROJECT TITLE	TIM LEE ARCHITECTS residential commercial industrial P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	NEW INDUSTRIAL RETAIL OUTLET		PROPOSED SECTION B	APRIL 24	TL
A	ISSUED FOR DEVELOPMENT APPLICATION	10.06.2025	THOMPSON DELL		LOT 1 DP 1294866	As indicated	AW
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.		49 KNOX STREET, GOULBURN NSW 2580	A3 SHEET	0124-1638
						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
						DA-15	A





**3** TYPICAL STAIR SECTION  
1: 100 @ A3



- AS1428.1 GALVANISED, POWDERCOATED STEEL BALUSTRADES, KERB RAILS & HANDRAILS TO ENGINEER'S DETAILS.
- SUPPLY & INSTALL ALL NECESSARY FITTINGS & FIXTURES IN STRICT ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- TGSI INSTALLED TO AS1428.1 & MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- CONTRACTOR IS TO ENSURE COMPLETE COMPLIANCE WITH ALL RELEVANT NCC CODES, AUSTRALIAN STANDARDS & LOCAL REGULATIONS & BY-LAWS AS REQUIRED.
- AS1428.1. GALVANISED, POWDERCOATED STEEL FIRE STAIR TO ENGINEER'S DETAILS.
- AS1428.1 STAIR NOSINGS & RISERS TO ALL BE EQUAL IN A FLIGHT.
- ALL HANDRAILS TO FOLLOW THE GRADE OF THE STAIRS, VERANDAHS, WALKWAYS OR RAMPS ON WHICH THEY ARE LOCATED AT A CONSTANT HEIGHT ABOVE FINISHED RAMP OR GRADE LEVEL.
- ALL STAIR RISERS ARE TO BE EQUAL IN HEIGHT.
- ALL STAIR GOINGS ARE TO BE EQUAL IN LENGTH.
- ALL HANDRAILS:
  - DIMENSIONS TO BE CONFIRMED ONSITE.
  - GALVANISED FINISH.
  - TO HAVE FULL FILLET WELDED JOINTS GROUND TO A SMOOTH FINISH.

ALL LEVELS ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.

NOTE : SITE INFORMATION HAS BEEN ASSUMED, FINAL SET OUT, SITE LEVELS, CONTOURS, FLOOR LEVELS, ETC., TO BE CONFIRMED ONSITE BY SURVEYOR PRIOR TO COMMENCING WORKS.

REFER TO COMPLIANCE NOTES FOR GENERAL NOTES

NOTES :

CONTRACTOR TO PROVIDE STRUCTURAL ENGINEER'S CERTIFICATION THAT ALL BALUSTRADES HAVE BEEN INSTALLED TO COMPLY WITH THE STRUCTURAL LOADING REQUIREMENTS OF AS1170.1.

REFER TO STRUCTURAL ENGINEER'S DETAILS AND DOCUMENTATION FOR PROPPING REQUIREMENTS.

ALL STEEL WORK TO BE HOT DIP GALVANISED. SITE REPAIR ALL WELDS WITH COLD GALVANISED PAINT.

ALL STEEL FABRICATION TO BE DONE IN WORKSHOP AND TRANSPORTED ONTO SITE FOR INSTALLATION.

FORM 12mm EJ TO EACH BRICK SKIN WITH 50mm ABELFLEX STRIP. FILL JOINT WITH POLYETHYLENE FOAM BACKING ROD AND SEAL WITH COLOURED MASTIC. PROVIDE EJ AT MAX. 6m CENTRES UNLESS OTHERWISE SPECIFIED.

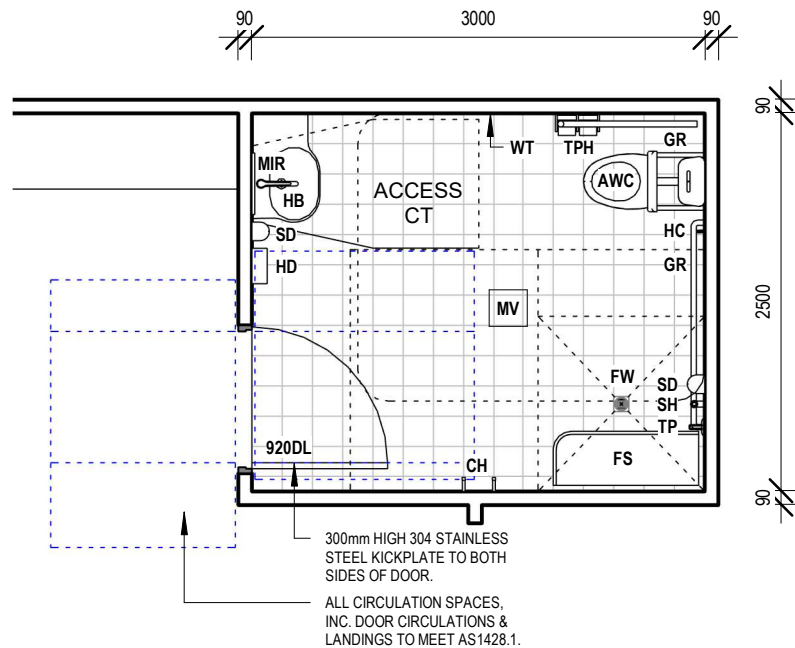
PROVIDE SLIP JOINT BETWEEN CONCRETE SLAB AND SUPPORTING MASONRY WALLS. ALL SUBGRADE & COMPACTED FILL BELOW SLAB TO APPROVAL USING APPROVED GRANULAR MATERIAL COMPACTED TO 98% OF STANDARD DRY DENSITY.

ALL FOOTINGS DOWN TO SOLID FOUNDATIONS WITH MIN. 150KPa. OR AS APPROVED BY SITE INSPECTION PRIOR TO CONCRETE POUR.

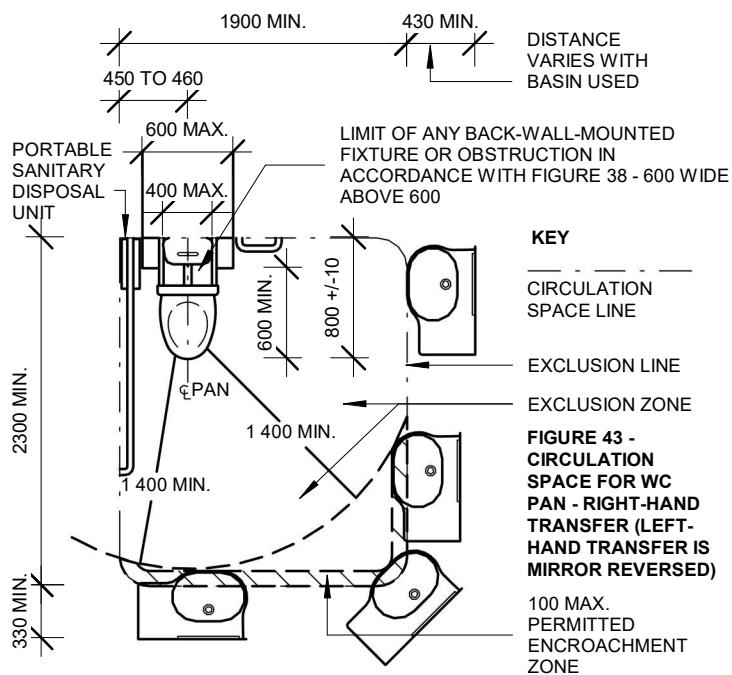
PROVIDE SHOP DRAWINGS BEFORE COMMENCING ANY WORKS.

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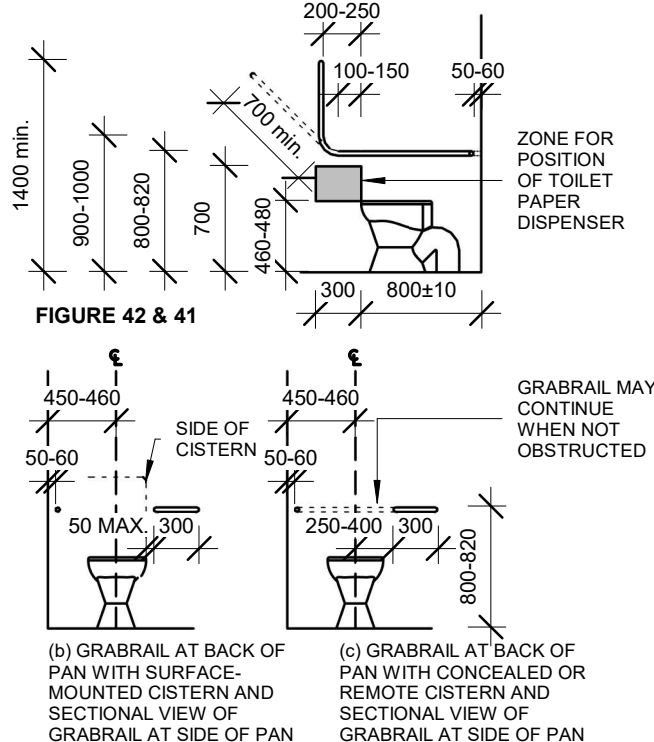
DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div></div>	DRAWING TITLE	DETAILS - STAIRS		DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	CLIENT		LOT AND DEPOSITED PLAN NO.	LOT 1 DP 1294866		APRIL 24	TL
A	ISSUED FOR DEVELOPMENT APPLICATION	10.06.2025	THOMPSON DELL				As indicated	AW	
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.		STREET ADDRESS		49 KNOX STREET , GOULBURN NSW 2580		DA-16
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**1** TYPICAL ACCESS WC FLOOR PLAN  
1 : 50 @ A3



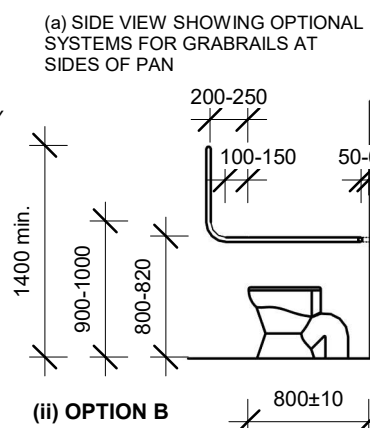
**2** AS1428.1 WC CIRC FIGURE 43  
1 : 50 @ A3



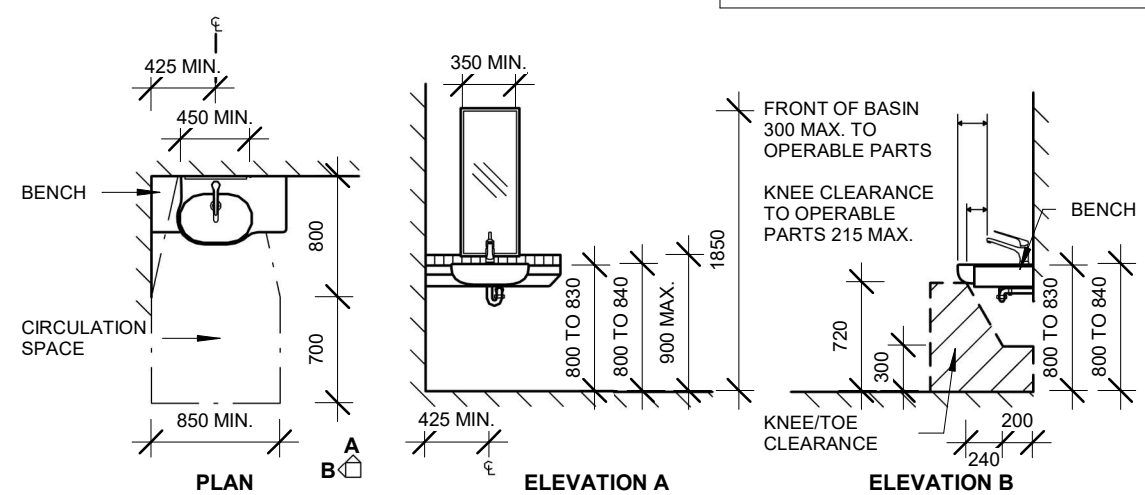
**3** AS1428.1 GRABRAIL WC FIGURE 42  
1 : 50 @ A3

WET AREAS KEY		
FINAL COLOURS, MATERIALS & FITTINGS SELECTION BY CLIENT TO AS1428.1.		
<p><b>AWC</b> WC, SEAT, CISTERN &amp; BACKREST TO MEET AS1428.1.</p> <p><b>CH</b> CLOTHES HOOKS TO MEET AS1428.1.</p> <p><b>CT</b> NON-SLIP CERAMIC FLOOR TILES &amp; SKIRTING TILES, FULLY VITRIFIED, EQUAL TO MIN. R11 /P4 SLIP RATING. COVE TILE TO ALL WALL &amp; FLOOR JUNCTIONS.</p> <p><b>FS</b> FOLDING SHOWER SEAT TO BE SELF-DRAINING, SLIP-RESISTANT, ROUNDED FRONT CORNERS &amp; TOP EDGES &amp; FOLD UPWARDS &amp; WHEN FOLDED THE GRABRAIL SHALL BE ACCESSIBLE &amp; INSTALLED (INSTALL INWALL BRACING &amp; SUPPORT HOLD RATING TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS) TO MEET AS1428.1.</p> <p><b>GR</b> STAINLESS STEEL GRABRAILS, MUST BE SECURELY FIXED TO THE WALL (INSTALL INWALL BRACING &amp; SUPPORT HOLD RATING TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS) TO MEET AS1428.1.</p> <p><b>HB</b> HAND BASIN WITH KNEE CLEARANCE &amp; INTEGRATED SHELF TO MEET AS1428.1.</p> <p><b>HC</b> CLEANERS TAP / HOSE COCK TO MEET AS1428.1.</p> <p><b>HD</b> HAND DRYER TO MEET AS1428.1.</p> <p><b>MIR</b> POLISHED METAL MIRROR TO MEET AS1428.1.</p> <p><b>SD</b> SOAP DISPENSER TO MEET AS1428.1.</p> <p><b>SH</b> SHOWER HEAD, HOSE &amp; GRABRAILS TO MEET AS1428.1.</p> <p><b>TP</b> SHOWER TAPS TO MEET AS1428.1. ZONE FOR TAPS &amp; SOAP HOLDER WITH 50 MIN. CLEARANCE AROUND SHOWER SUPPORT RAIL.</p> <p><b>TPH</b> TOILET PAPER DISPENSER TO MEET AS1428.1.</p> <p><b>WT</b> WALL TILES, COVE TILE TO ALL WALL &amp; FLOOR JUNCTIONS.</p>	<p><b>NOTE : TYPICAL PLAN FOR TENANCIES 2 &amp; 3. REFER TO PLANS FOR TENANCY 1 &amp; 4 LAYOUT &amp; DIMENSIONS - TO MEET AS1428.1.</b></p> <p><b>THIS DOCUMENT IS PRODUCED AS A GUIDE ONLY. NOTE : NOT ALL SETOUT DIMENSIONS ARE SHOWN. REFER TO &amp; VERIFY ALL DIMENSIONS, FITTINGS &amp; FIXTURES, ETC, WITH THE CURRENT "AUSTRALIAN STANDARD AS1428.1:2009 AMENDMENT A, DESIGN FOR ACCESS &amp; MOBILITY PART 1 : GENERAL REQUIREMENTS FOR ACCESS- NEW BUILDING WORK" &amp; THE CURRENT DISABILITY (ACCESS TO PREMISES - BUILDINGS) STANDARDS", NCC &amp; PLUMBING CODE OF AUSTRALIA.</b></p> <p><b>GENERAL NOTES</b></p> <ul style="list-style-type: none"> <li>- 300mm STAINLESS STEEL KICKPLATE TO BOTH SIDES OF THE DOOR.</li> <li>- ENSURE LIGHT SWITCHES ARE AT A HEIGHT OF 900mm TO 1100mm &amp; A MINIMUM OF 500mm FROM INTERNAL CORNERS IN ACCORDANCE WITH AS1428.1.</li> <li>- SIGNAGE IS REQUIRED TO BE INSTALLED IN ACCORDANCE WITH AS1428.1.</li> <li>- CLOTHES HANGING DEVICES SHALL BE INSTALLED 1200mm TO 1350mm HEIGHT &amp; NOT LESS THAN 500mm FROM ANY INTERNAL CORNER IN ACCORDANCE WITH AS1428.1.</li> <li>- ALL DOOR CIRCULATION SPACES ARE REQUIRED TO MEET AS1428.1.</li> </ul>	<p><b>WATER CLOSETS</b></p> <ul style="list-style-type: none"> <li>- THE CISTERN MAY BE SURFACE MOUNTED OR FLUSH. IF A FLUSH CISTERN IS USED THE DEPTH OF THE TOILET FIXTURE SPACE MAY BE REDUCED ACCORDINGLY.</li> <li>- THIS CIRCULATION SPACE CAN OVERLAP ANY OTHER CIRCULATION SPACES.</li> </ul> <p><b>BASIN</b></p> <ul style="list-style-type: none"> <li>- A FLOOR WASTE MAY BE USED IF THE WASTE ENTERS THE FLOOR OUTSIDE THE CIRCULATION SPACE.</li> <li>- THIS CIRCULATION SPACE CAN OVERLAP ANY OTHER CIRCULATION SPACES.</li> </ul> <p><b>WET AREAS</b></p> <ul style="list-style-type: none"> <li>- WET AREAS SHOWN HATCHED, LAY NON-SLIP CERAMIC TILES TO EQUAL R11 / P4 SLIP RATING ON MORTAR BED GRADED TO GIVE FALLS TO FWS AS SHOWN. AREAS TO BE TREATED IN ACCORDANCE WITH AUSTRALIAN STANDARDS AS 3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.</li> <li>- THE WATERPROOFING SYSTEM TO BE APPROPRIATE FOR THE BASE CONSTRUCTION. DO NOT WATERPROOF OVER PARTICLEBOARD OR TIMBER FLOORING.</li> <li>- PROVIDE EVIDENCE OF MANUFACTURER'S PRODUCT INSTALLATION DATA SHEETS &amp; REQUIREMENTS.</li> <li>- INSTALL ALL PRODUCTS TO MANUFACTURER'S CURRENT - PRINTED NSTRUCTIONS.</li> </ul> <p><b>TILING</b></p> <ul style="list-style-type: none"> <li>- TILING TO BE COMPLETED WITH NO RAISED EDGES OR TIGHT JOINTS.</li> <li>- APPROPRIATE TRIMS &amp; FINISH BEADS TO BE INSTALLED.</li> <li>- SUB-STANDARD TILING WILL BE REJECTED. REJECTED WORK TO BE REMOVED. BASE WORK IS TO BE PREPARED &amp; NEW MATCHING MATERIALS SUPPLIED &amp; LAID AT CONTRACTOR'S EXPENSE.</li> </ul>
THERMOSTATIC MIXING VALVE TO HYDRAULIC ENGINEER'S DETAILS.		

**FIGURE 42 - POSITION OF GRABRAILS IN WATER CLOSETS**



**FIGURE 44(A) - SEMI-RECESSED WASHBASIN INSTALLATION - OTHER THAN FOR SOLE-OCCUPANCY UNIT**



**4** AS1428.1 WASHBASIN FIGURE 44 (A)  
1 : 50 @ A3

ALL LEVELS ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

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NOTE : SITE INFORMATION HAS BEEN ASSUMED, FINAL SET OUT, SITE LEVELS, CONTOURS, FLOOR LEVELS, ETC, TO BE CONFIRMED ONSITE BY SURVEYOR PRIOR TO COMMENCING WORKS.

REFER TO COMPLIANCE NOTES FOR GENERAL NOTES

AS1428.1 ACCESS BATHROOM FLOORS 12.5.2

THE REQUIREMENTS FOR THE FLOOR WASTE OUTLETS ARE AS FOLLOWS:

(a) THE FLOOR OF THE SHOWER RECESS & ASSOCIATED CIRCULATION SPACE SHALL BE SELF DRAINING & WITHOUT A STEP-DOWN, RAISED STEP KERB OR HOB AT THE ENTRY TO THE RECESS.

(b) WHERE A CENTRAL WASTE OUTLET FOR THE SHOWER RECESS IS PROVIDED, THE WASTE OUTLET FOR THE SHOWER SHALL BE IN ACCORDANCE WITH FIGURE 47. ALTERNATIVELY, A LINEAR DRAIN MAY BE PROVIDED.

(c) THE SLOPE OF THE FLOOR OF THE SHOWER RECESS TO A CENTRAL WASTE OUTLET SHALL HAVE A GRADIENT BETWEEN 1:60 & 1:80, AS SHOWN IN FIGURE 49. THE SLOPE OF THE FLOOR OF THE WHOLE SANITARY FACILITY TO A LINEAR DRAIN SHALL BE CONSTANT WITHIN THE RANGE OF 1 IN 50 AND 1 IN 90. NOTE : A LINEAR DRAIN MAY BE USED TO FACILITATE CONFORMANCE TO THESE GRADIENTS.

(d) THE SLOPE OF FLOOR OF THE REMAINDER OF THE SANITARY FACILITY SHALL HAVE A GRADIENT BETWEEN 1:80 & 1:100, AS SHOWN IN FIGURE 49.

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REFER TO COMPLIANCE NOTES FOR GENERAL NOTES

# 1 STREETSCAPE COLOURBOARD

@ A3

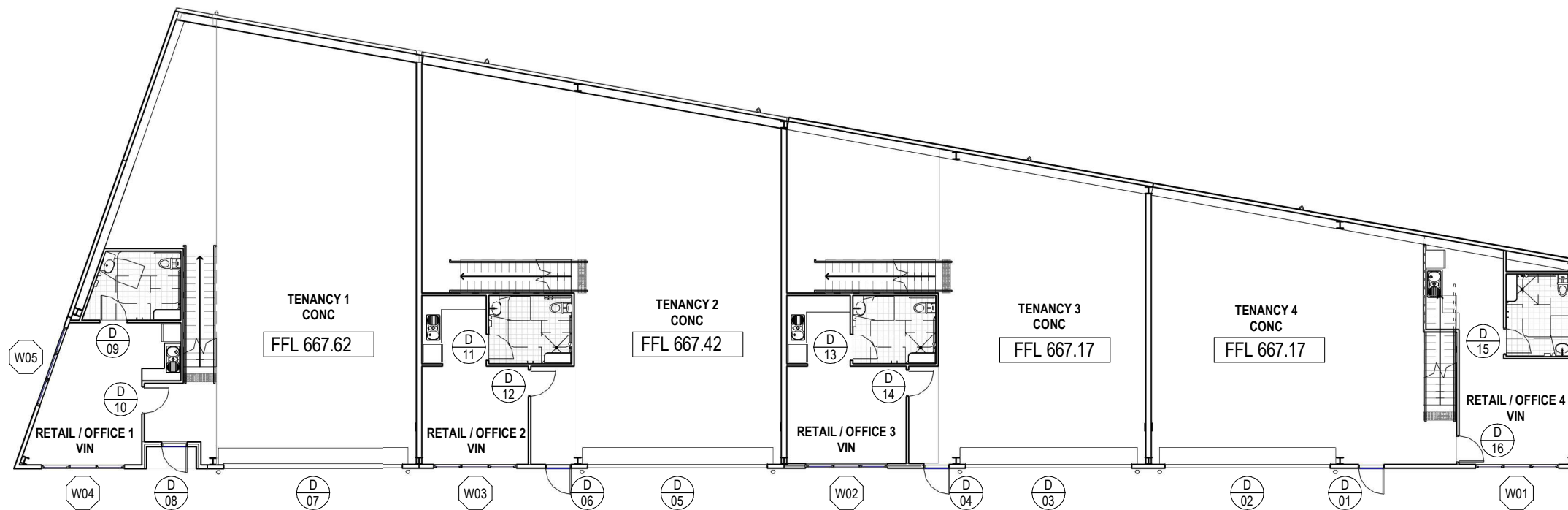
+ COLOURS & MATERIALS SCHEDULE		
+ BUILDING FABRIC	+ MATERIALS	+ COLOUR
ROOF	COLORBOND STEEL SHEETING	COLORBOND MONUMENT
AWNING & ROOF	EXOTEC FACADE PANEL & FIXING SYSTEM & COLORBOND STEEL SHEETING	COLORBOND DOVER WHITE
FASCIA	COLORBOND STEEL SHEETING	COLORBOND BASALT
GUTTERS	COLORBOND STEEL	COLORBOND BASALT
DOWNPIPES	COLORBOND STEEL	COLORBOND BASALT
FLASHING & RIDGES	COLORBOND STEEL	COLORBOND MONUMENT
WALLS 1	COLORBOND STEEL SHEETING	COLORBOND MONUMENT
WALLS 2	COLORBOND STEEL SHEETING	COLORBOND BASALT
WALLS 3	EXOTEC FACADE PANEL & FIXING SYSTEM	COLORBOND BASALT
DOORS - SWINGING	POWDERCOAT STEEL FRAMED	COLORBOND MONUMENT
DOORS - ROLLER	POWDERCOAT STEEL FRAMED	COLORBOND MONUMENT
SUNSHADE DEVICES	POWDERCOAT ALUMINIUM HORIZONTAL LOUVRE SYSTEM	COLORBOND DOVER WHITE
BOLLARDS - ACCESSIBLE CARPARK	POWDERCOAT STEEL	AS1428.1 BLUE
BOLLARDS - STANDARD	POWDERCOAT STEEL	AS1248.1 YELLOW
DOWNPIPE GUARDS	POWDERCOAT STEEL	AS1248.1 YELLOW
CORNER GUARDS	POWDERCOAT STEEL	AS1248.1 YELLOW
WATERTANKS & SCREEN	COLORBOND STEEL SHEETING	COLORBOND MONUMENT

+ COLOURS & MATERIALS SELECTION  
ALL COLOURS & MATERIALS SELECTIONS HAVE BEEN REPRODUCED TO REPRESENT ACTUAL PRODUCT COLOURS & MATERIALS AS ACCURATELY AS POSSIBLE, BUT COLOUR VARIANCE IS POSSIBLE DUE TO DIFFERENT PRINTERS & SCREENS. ALL FINAL COLOURS & MATERIALS SELECTIONS TO BE CONFIRMED WITH REAL SAMPLES OF EACH COLOUR & MATERIAL.

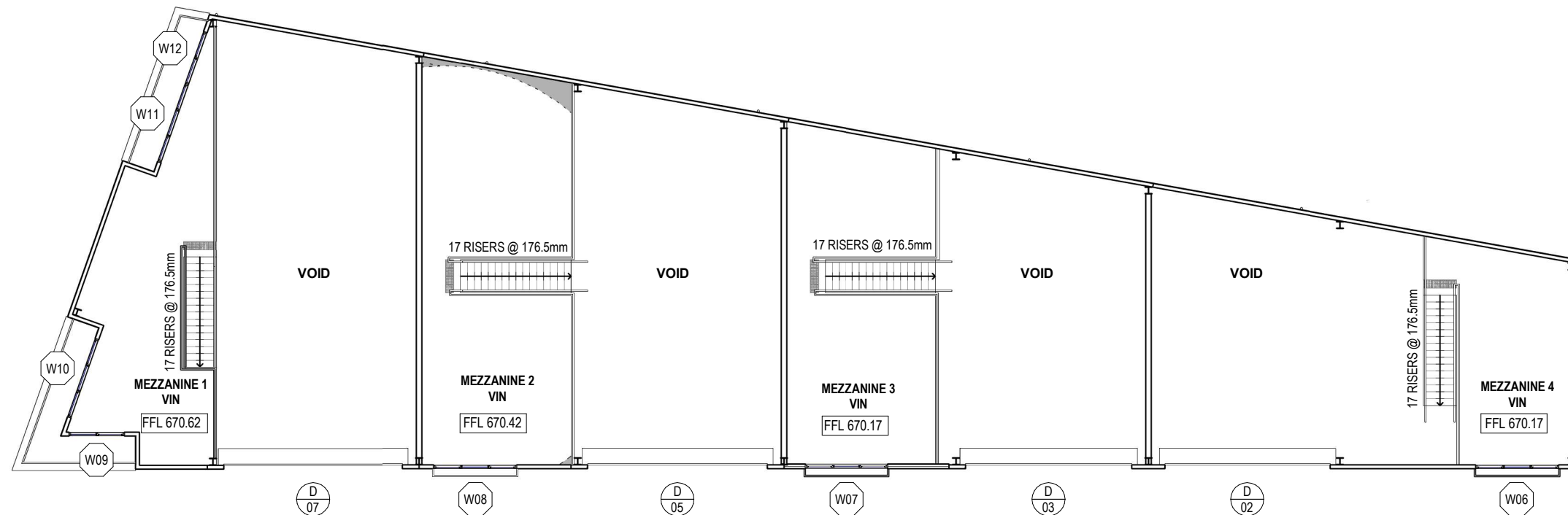
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DRAWING AMENDMENTS			PROJECT TITLE NEW INDUSTRIAL RETAIL OUTLET		<div><div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580  NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div>	DRAWING TITLE DETAILS - STREETSCAPE COLOURBOARD		DRAWING COMMENCED APRIL 24		DRAWING VERIFIED BY TL	
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								DRAWING IDENTIFICATION NUMBER DA-18		AMENDMENT ISSUE A	





**1** DOOR & WINDOW TAGS FLOOR PLAN  
1 : 200 @ A3



**2** DOOR & WINDOW TAGS MEZZANINE FLOOR PLAN  
1 : 200 @ A3

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REFER TO COMPLIANCE NOTES FOR GENERAL NOTES  
ALL EXTERNAL SWING DOORS TO BE FITTED WITH MATCHING FLYSCREENS. FINAL WINDOW & DOOR SELECTIONS, STYLE, OPERATION TYPE, GLAZING & FRAME TYPE TO BE SELECTED BY CLIENT & BUILDER & TO BE IN ACCORDANCE WITH SECTION J REQUIREMENTS.

ACCESSIBLE TOILET DOORS TO HAVE A 300mm 304 STAINLESS STEEL KICKPLATE TO BOTH SIDES OF THE DOOR.

DOOR FURNITURE TO ALL DOORS TO MEET NCC (VOL 1) D3D26 & AS1428.1 REQUIREMENTS. LIFT OFF HINGES TO ALL WC COMPARTMENT DOORS WHERE OPENING INWARD TO SATISFY THE REQUIREMENTS OF NCC (VOL 1) F4D8 & NCC (VOL 2) H4D5 PART 10.4.2 OR PROVIDE ALTERNATIVE CONFIGURATION TO SATISFY THE LOCAL AUTHORITIES.



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					49 KNOX STREET, GOULBURN NSW 2580	A3 SHEET	0124-1638
						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
						DA-19	A

WINDOW SCHEDULE			
WINDOW NO.	WINDOW TYPE	HEIGHT	WIDTH
01	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	3000
02	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	3000
03	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	3000
04	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	3000
05	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	3000
06	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	3000
07	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	3000
08	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	3000
09	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	2000
10	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	3000
11	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	3000
12	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	2000

DOOR SCHEDULE			
DOOR NO.	DOOR TYPE	HEIGHT	WIDTH
01	EXTERNAL GRADE, ALUMINIUM FRAMED SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS. AS1428.1 MIN. 30% LUMINANCE CONTRAST.	2400	920
02	EXTERNAL GRADE, SECURITY ROLLER DOOR, POWDERCOAT FINISH TO SHED MANUFACTURER'S DETAILS.	4600	6000
03	EXTERNAL GRADE, SECURITY ROLLER DOOR, POWDERCOAT FINISH TO SHED MANUFACTURER'S DETAILS.	4600	6000
04	EXTERNAL GRADE, ALUMINIUM FRAMED SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS. AS1428.1 MIN. 30% LUMINANCE CONTRAST.	2400	920
05	SECURITY ROLLER DOOR, POWDERCOAT FINISH TO SHED MANUFACTURER'S DETAILS.	4600	6500
06	EXTERNAL GRADE, ALUMINIUM FRAMED SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS. AS1428.1 MIN. 30% LUMINANCE CONTRAST.	2400	920
07	SECURITY ROLLER DOOR, POWDERCOAT FINISH TO SHED MANUFACTURER'S DETAILS.	4600	6500
08	EXTERNAL GRADE, ALUMINIUM FRAMED SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS. AS1428.1 MIN. 30% LUMINANCE CONTRAST.	2400	920
09	INTERNAL GRADE, STEEL FRAMED, SOLID CORE SWINGING DOOR, AS1428.1 MIN. 30% LUMINANCE CONTRAST.	2100	920
10	INTERNAL GRADE, STEEL FRAMED, SOLID CORE SWINGING DOOR, AS1428.1 MIN. 30% LUMINANCE CONTRAST.	2100	920
11	INTERNAL GRADE, STEEL FRAMED, SOLID CORE SWINGING DOOR, AS1428.1 MIN. 30% LUMINANCE CONTRAST.	2100	920
12	INTERNAL GRADE, STEEL FRAMED, SOLID CORE SWINGING DOOR, AS1428.1 MIN. 30% LUMINANCE CONTRAST.	2100	920
13	INTERNAL GRADE, STEEL FRAMED, SOLID CORE SWINGING DOOR, AS1428.1 MIN. 30% LUMINANCE CONTRAST.	2100	920
14	INTERNAL GRADE, STEEL FRAMED, SOLID CORE SWINGING DOOR, AS1428.1 MIN. 30% LUMINANCE CONTRAST.	2100	920
15	INTERNAL GRADE, STEEL FRAMED, SOLID CORE SWINGING DOOR, AS1428.1 MIN. 30% LUMINANCE CONTRAST.	2100	920
16	INTERNAL GRADE, STEEL FRAMED, SOLID CORE SWINGING DOOR, AS1428.1 MIN. 30% LUMINANCE CONTRAST.	2100	920

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CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.

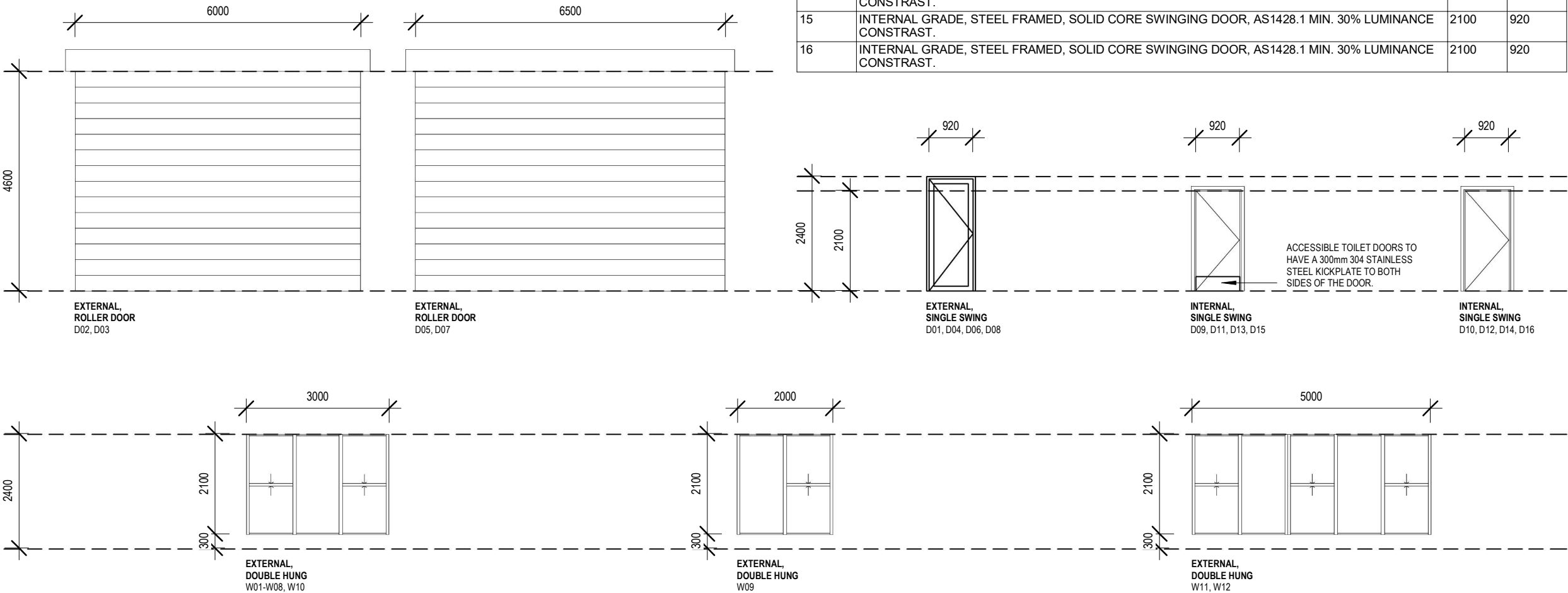
NOTE : SITE INFORMATION HAS BEEN ASSUMED, FINAL SET OUT, SITE LEVELS, CONTOURS, FLOOR LEVELS, ETC, TO BE CONFIRMED ONSITE BY SURVEYOR PRIOR TO COMMENCING WORKS.

REFER TO COMPLIANCE NOTES FOR GENERAL NOTES

ALL DOOR CIRCULATION SPACES TO MEET AS1428.1. ALL EXTERNAL SWING DOORS TO BE FITTED WITH MATCHING FLYSCREENS. FINAL WINDOW & DOOR SELECTIONS, STYLE, OPERATION TYPE, GLAZING & FRAME TYPE TO BE SELECTED BY CLIENT & BUILDER & TO BE IN ACCORDANCE WITH SECTION J REQUIREMENTS.

ACCESSIBLE TOILET DOORS TO HAVE A 300mm 304 STAINLESS STEEL KICKPLATE TO BOTH SIDES OF THE DOOR.

DOOR FURNITURE TO ALL DOORS TO MEET NCC (VOL 1) D3D26 & AS1428.1 REQUIREMENTS. LIFT OFF HINGES TO ALL WC COMPARTMENT DOORS WHERE OPENING INWARD TO SATISFY THE REQUIREMENTS OF NCC (VOL 1) F4D8 & NCC (VOL 2) H4D5 PART 10.4.2 OR PROVIDE ALTERNATIVE CONFIGURATION TO SATISFY THE LOCAL AUTHORITIES.



ELEVATIONS - DOORS & WINDOWS  
1 : 100 @ A3

ISSUED FOR  
DEVELOPMENT APPLICATION  
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div>P: 02 4822 5934</div><div>ABN: 71425067537</div><div>ROSS PLACE</div><div>GOULBURN NSW 2580</div><div>NOMINATED ARCHITECT:</div><div>TIM LEE</div><div>NSW REG: 7304</div><div>ACT REG: 1030</div></div>	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	NEW INDUSTRIAL RETAIL OUTLET		DETAILS - DOOR & WINDOW SCHEDULES	APRIL 24	TL
A	ISSUED FOR DEVELOPMENT APPLICATION	10.06.2025	CLIENT		LOT AND DEPOSITED PLAN NO.	DRAWING SCALE	DRAWN BY
			THOMPSON DELL		LOT 1 DP 1294866	1 : 100	AW
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.		STREET ADDRESS	AT SHEET SIZE	JOB NUMBER
					49 KNOX STREET, GOULBURN NSW 2580	A3 SHEET	0124-1638
						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
						DA-20	A



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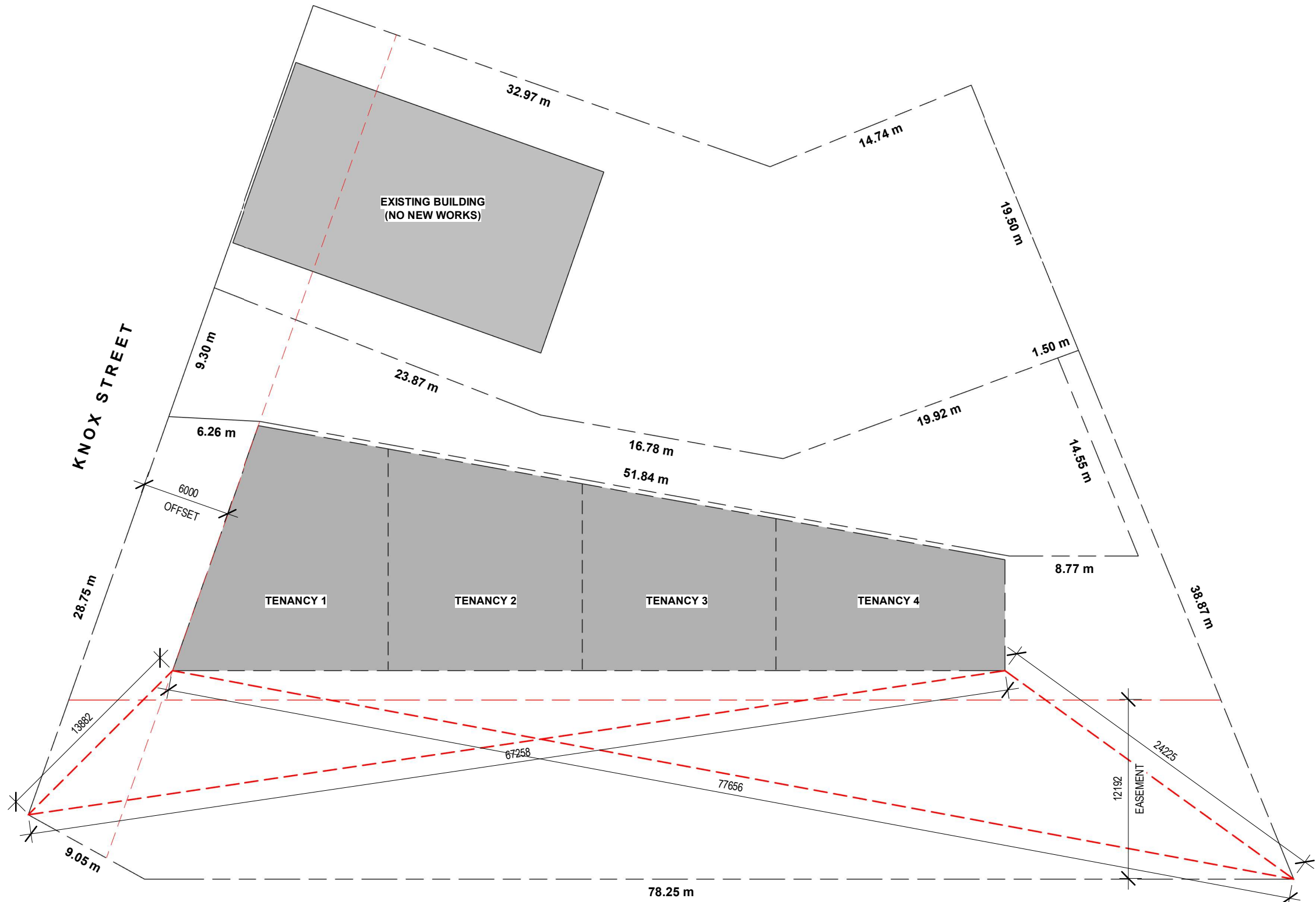
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REFER TO COMPLIANCE NOTES FOR GENERAL NOTES

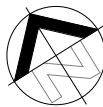
SUBDIVISION - AREAS	
LOT 1 - SITE AREA	1101.80 m²
LOT 2 - SITE AREA	2475.75 m²

SUBDIVISION - ROW AREA	
ROW (PART OF LOT 2 AREA)	419.67 m²

SITE AREA - TOTAL	
SITE AREA	3577.55 m²



1 SITE SETOUT PLAN  
1 : 300 @ A3



ISSUED FOR  
DEVELOPMENT APPLICATION  
**NOT FOR CONSTRUCTION**

DRAWING AMENDMENTS			PROJECT TITLE	TIM LEE ARCHITECTS residential commercial industrial P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	NEW INDUSTRIAL RETAIL OUTLET		SITE DETAIL - SITE SETOUT PLAN	APRIL 24	TL
A	ISSUED FOR DEVELOPMENT APPLICATION	10.06.2025	CLIENT		LOT AND DEPOSITED PLAN NO.	As indicated	DRAWN BY
			THOMPSON DELL		LOT 1 DP 1294866	AW	
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.		STREET ADDRESS	AT SHEET SIZE	JOB NUMBER
					49 KNOX STREET, GOULBURN NSW 2580	A3 SHEET	0124-1638
						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
						DA-21	A

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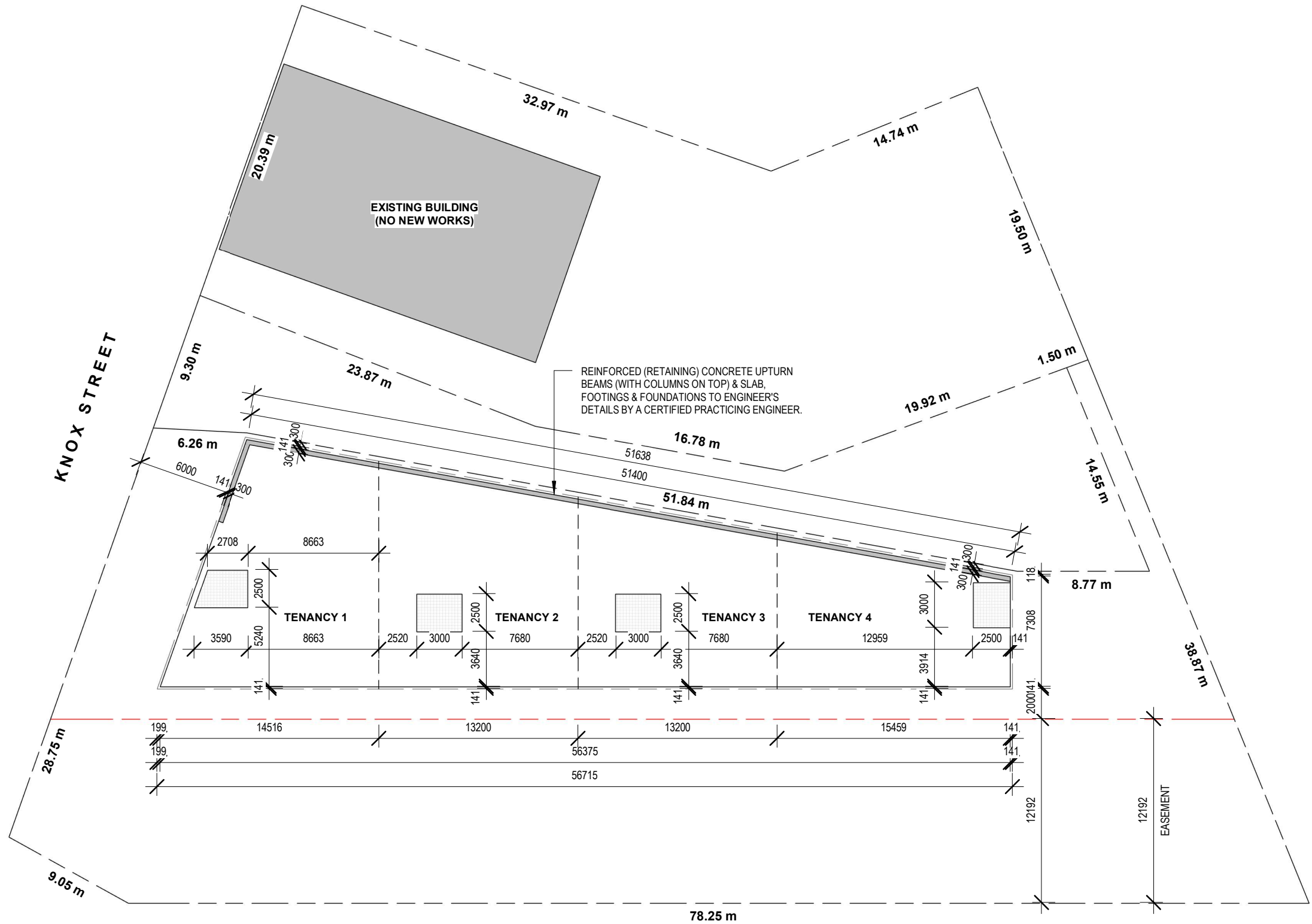
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REFER TO COMPLIANCE NOTES FOR GENERAL NOTES

SUBDIVISION - AREAS	
LOT 1 - SITE AREA	1101.80 m <sup>2</sup>
LOT 2 - SITE AREA	2475.75 m <sup>2</sup>

SUBDIVISION - ROW AREA	
ROW (PART OF LOT 2 AREA)	419.67 m <sup>2</sup>

SITE AREA - TOTAL	
SITE AREA	3577.55 m <sup>2</sup>



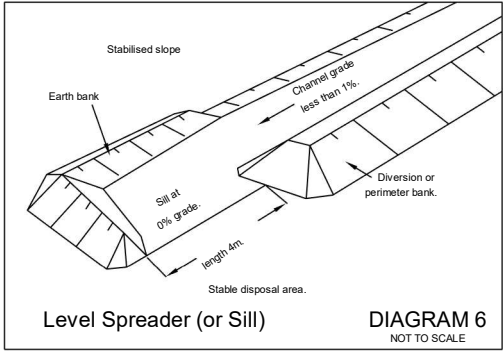
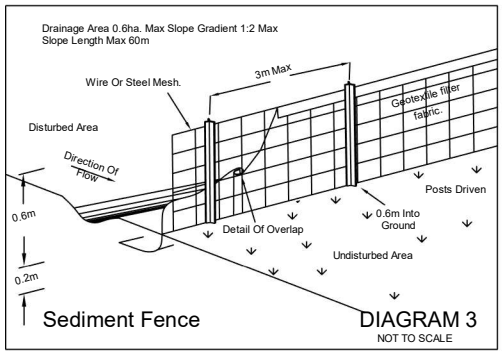
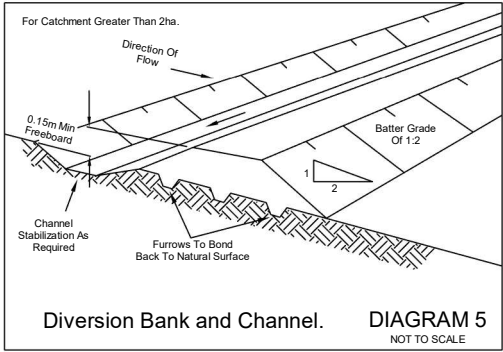
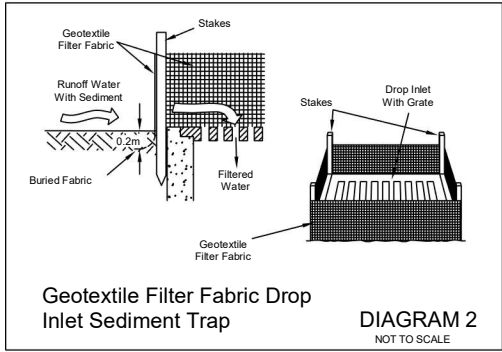
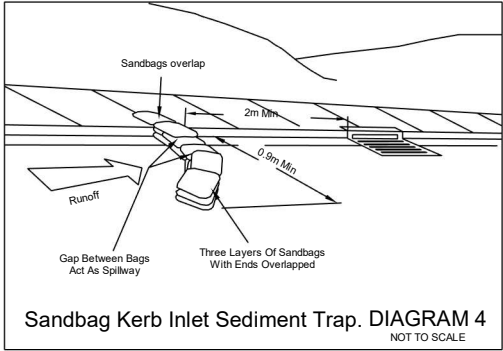
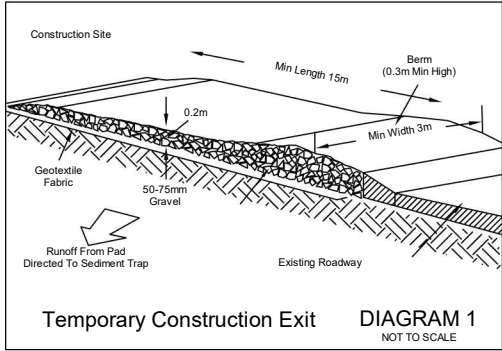
1 SLAB SETOUT PLAN  
1 : 300 @ A3



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DEVELOPMENT APPLICATION  
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DRAWING AMENDMENTS			PROJECT TITLE	+L TIM LEE ARCHITECTS residential commercial industrial P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	NEW INDUSTRIAL RETAIL OUTLET		SITE DETAIL - SLAB SETOUT PLAN	APRIL 24	TL
A	ISSUED FOR DEVELOPMENT APPLICATION	10.06.2025	CLIENT THOMPSON DELL		LOT AND DEPOSITED PLAN NO. LOT 1 DP 1294866	DRAWING SCALE As indicated	DRAWN BY AW
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.		STREET ADDRESS 49 KNOX STREET, GOULBURN NSW 2580	AT SHEET SIZE A3 SHEET	JOB NUMBER 0124-1638
						DRAWING IDENTIFICATION NUMBER DA-22	AMENDMENT ISSUE A





- GENERAL NOTES:**
- ALL WORK TO COMPLY WITH THE REQUIREMENTS OF COUNCIL & DEPT OF HOUSING MANUAL "MANAGING URBAN STORMWATER - SOILS & CONSTRUCTION"
  - ALL DISTURBED AREAS ON VERGES & ALLOTMENTS SHALL BE RIPPED 100mm BELOW FINISHED SURFACE LEVEL, 100mm OF APPROVED SITE OR IMPORTED TOPSOIL ADDED & TRIMMED TO FINISHED LEVEL. THEN GRASSED WITH APPROVED SEED/ MULCHED WITHIN 14 DAYS AND WATERED UNTIL FULL ESTABLISHMENT OCCURS.
  - ALL ADJOINING AREAS TO BE PROTECTED FROM SEDIMENT VIA SILT FENCE AS DETAILED. (IF FALL TO LAND OCCURS)
  - ALL PROPOSED AND EXISTING KERB INLET SUMPS SHALL BE PROTECTED FROM SEDIMENT AS DETAILED. (GULLY PIT PROTECTION)
  - ALL SURFACE INLET PITS (OFF ROAD) SHALL BE PROTECTED FROM SEDIMENT AS DETAILED. (SURFACE INLET PITS)
  - ALL PAVEMENT & SUBGRADES TO BE PROTECTED FROM SCOUR/EROSION AS DETAILED. (PAVEMENT PROTECTION)
  - ALL OUTLET PIPE'S SHALL BE FITTED WITH STAKED STRAW BALES & SILT FENCE IN A DAM PATTERN.
  - ALL SWALE DRAINS (OPEN CHANNELS) TO BE TREATED AS PER PAVEMENT PROTECTION UNTIL GRASS IS ESTABLISHED.
  - 300mm WIDE STRIP OF TURF TO BE LAID BEHIND KERB. 1m RETURNS AT 50m INTERVALS. TURF ALSO TO BE LAID AROUND ALL SURFACE INLET PITS.
  - EXISTING GRASSED AREAS SHOWN ON SOIL AND WATER MANAGEMENT PLAN ARE TO BE MAINTAINED IN CURRENT CONDITION WHERE EVER POSSIBLE.
  - TOPSOIL SHALL BE STRIPPED AND STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RESPREAD LATER ON AREAS TO BE REVEGETATED AND STABILISED ONLY. (ie: ALL FOOTPATHS, BATTERS, SITE REGRADING AREAS, DRAINAGE RESERVES AND CHANNELS.) TOPSOIL SHALL NOT BE RESPREAD ON ANY OTHER AREA UNLESS SPECIFICALLY INSTRUCTED BY THE SUPERINTENDENT. IF THEY ARE TO REMAIN FOR LONGER THAN ONE MONTH STOCKPILES SHALL BE PROTECTED FROM EROSION BY COVERING THEM WITH A MULCH AND HYDROSEEDING AND, IF NECESSARY, BY LOCATING BANKS OR DRAINS UPSLOPE TO DIVERT THE RUNOFF AROUND THEM. IN SOME CIRCUMSTANCES IT MAY BE NECESSARY TO PLACE BANKS OR DRAINS DOWNSTREAM OF A STOCKPILE TO RETARD SEDIMENT LADEN RUNOFF.
  - THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES BEFORE NO MORE THAN 60% OF THEIR CAPACITY IS LOST. ALL THE SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT. NO SILT IS TO BE PLACED OUTSIDE THE LIMIT OF WORKS. THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTILL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL.
  - VEHICULAR TRAFFIC SHALL BE CONTROLLED DURING CONSTRUCTION CONFINING ACCESS WHERE POSSIBLE TO PROPOSED OR EXISTING ROAD ALIGNMENTS.
  - THE CONTRACTOR SHALL MAINTAIN DUST CONTROL UNTIL FINAL COMPLETION OF WORKS.
  - THE CONTRACTOR'S RESPONSIBILITY IS TO ENSURE ALL NECESSARY MEASURES ARE TAKEN TO PROTECT ALL DISTURBED AREAS AS PER NOTE 1. ALL ADDITIONAL COSTS IS TO BE REFLECTED IN TENDER PRICE EVEN IF SUCH MEASURES ARE NOT INDICATED ON SEDIMENT AND EROSION CONTROL PLANS.

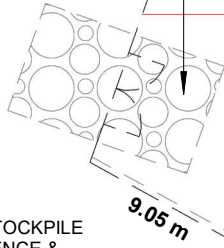
# 1 EROSION & SEDIMENT CONTROL PLAN

1 : 400 @ A3

SITE FENCE TO BOUNDARY, STREET SIDE TO HAVE LOCKABLE DOUBLE ACCESS GATES.

BALLAST TO ENTRY, 6m X 10m, MIN. PARTICLE SIZE 60mm.

MATERIAL STOCKPILE WITH SILT FENCE & HAYBALES.

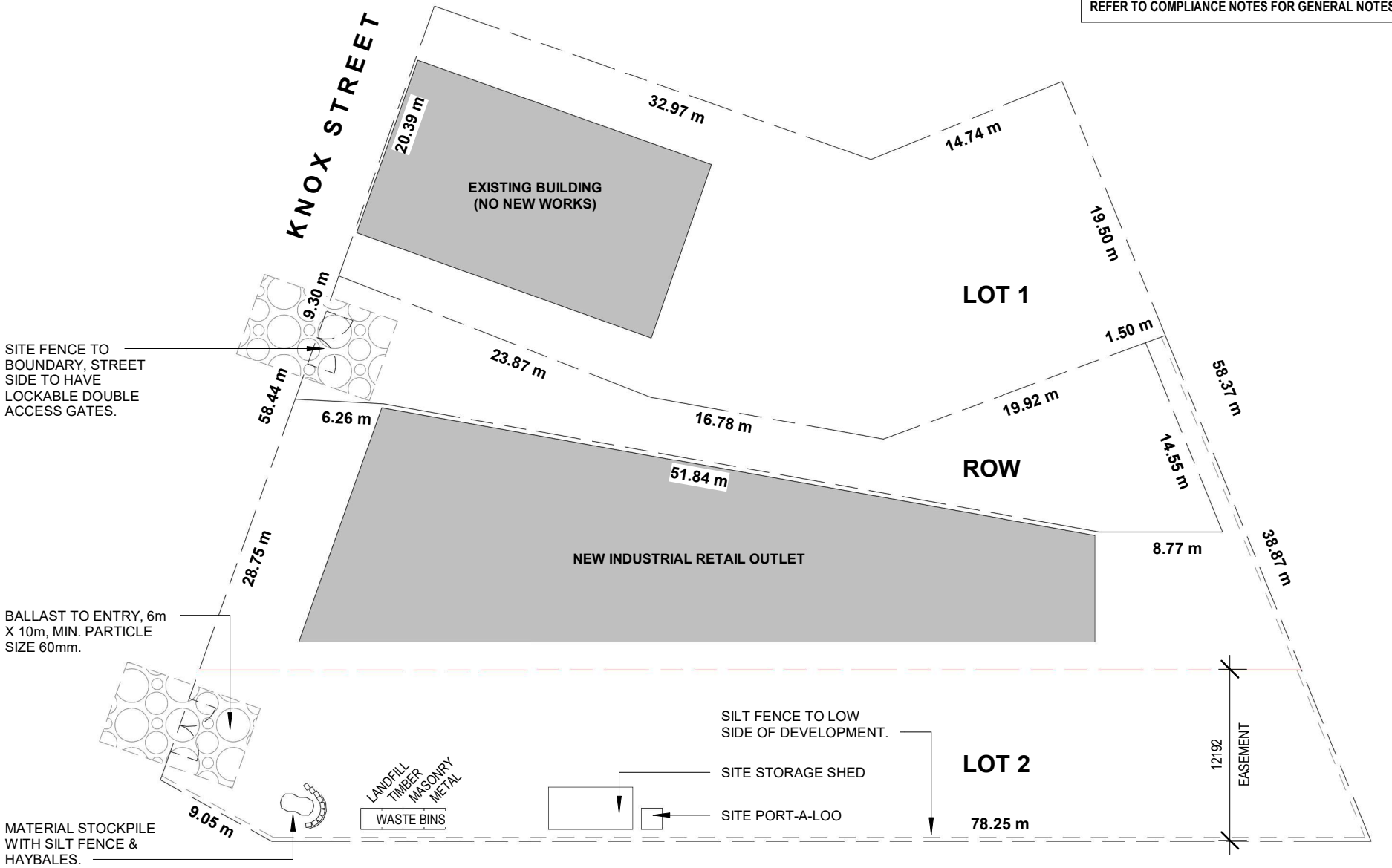


LANDFILL  
TIMBER  
MASONRY  
METAL  
WASTE BINS

SILT FENCE TO LOW SIDE OF DEVELOPMENT.

SITE STORAGE SHED

SITE PORT-A-LOO



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REFER TO COMPLIANCE NOTES FOR GENERAL NOTES



ISSUED FOR  
**DEVELOPMENT APPLICATION**  
**NOT FOR CONSTRUCTION**

DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div>	DRAWING TITLE		DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION A	DESCRIPTION ISSUED FOR DEVELOPMENT APPLICATION	DATE 10.06.2025	NEW INDUSTRIAL RETAIL OUTLET		SITE DETAIL- EROSION CONTROL NOTES & PLAN		APRIL 24	TL
			CLIENT		LOT AND DEPOSITED PLAN NO.		DRAWING SCALE	DRAWN BY
			THOMPSON DELL				As indicated	AW
			<div>Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</div> <div>C</div>	LOT 1 DP 1294866	AT SHEET SIZE	JOB NUMBER		
				STREET ADDRESS	49 KNOX STREET, GOULBURN NSW 2580	DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE	
						DA-23	A	



	AREA OF FILL
	AREA OF CUT
	AREA OF GRADE, CUT & FILL
	AS1248.1 AREA OF GRADE, CUT & FILL

GRADE, CUT & FILL AREA SHOWN HATCHED FOR NEW DRIVEWAY, DRIVEWAY RAMPS, LAYBACKS & CARPARKS TO MEET AS2890.

GRADE, CUT & FILL AREA SHOWN HATCHED TO CREATE A LEVEL PLATFORM FOR NEW WATER TANKS. TANKS TO BE SUNK INTO THE GROUND.

GRADE & BATTER AREA SHOWN HATCHED FOR NEW RAINGARDEN. APPROXIMATE EXTENT OF BATTER. ALL BATTER EXTENTS TO BE DETERMINED ONSITE. BATTER TO BE MAX 1:2 GRADE. REFER TO HYDRAULIC DETAILS FOR RAINGARDEN DETAILS.

GRADE, CUT & FILL AREA SHOWN HATCHED FOR OSD TO HYDRAULIC DETAILS.

GRADE, CUT & FILL AREA SHOWN HATCHED FOR NEW ACCESSIBILITY PATHS, WALKWAYS, LANDINGS & ACCESS CARPARK TO MEET TO AS1428.1, AS2890.1, 2 & 6.

GRADE, CUT & FILL AREA SHOWN HATCHED FOR NEW LANDSCAPING.

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REFER TO COMPLIANCE NOTES FOR GENERAL NOTES

SUBDIVISION - AREAS	
LOT 1 - SITE AREA	1101.80 m <sup>2</sup>
LOT 2 - SITE AREA	2475.75 m <sup>2</sup>

SUBDIVISION - ROW AREA	
ROW (PART OF LOT 2 AREA)	419.67 m <sup>2</sup>

SITE AREA - TOTAL	
SITE AREA	3577.55 m <sup>2</sup>

GRADE & BATTER AREA SHOWN HATCHED FOR NEW RAINGARDEN. APPROXIMATE EXTENT OF BATTER. ALL BATTER EXTENTS TO BE DETERMINED ONSITE. BATTER TO BE MAX 1:2 GRADE. REFER TO HYDRAULIC DETAILS FOR RAINGARDEN DETAILS.

GRADE, CUT & FILL AREA SHOWN HATCHED FOR NEW DRIVEWAY & CARPARKS TO MEET AS2890.

GRADE, CUT & FILL AREA SHOWN HATCHED FOR NEW ACCESSIBILITY PATHS, WALKWAYS, LANDINGS & ACCESS CARPARK TO MEET TO AS1428.1, AS2890.1, 2 & 6.

**1** CUT & FILL PLAN  
1 : 300 @ A3



ISSUED FOR  
**DEVELOPMENT APPLICATION**  
**NOT FOR CONSTRUCTION**

#### DRAWING AMENDMENTS

REVISION	DESCRIPTION	DATE
A	ISSUED FOR DEVELOPMENT APPLICATION	10.06.2025

PROJECT TITLE  
**NEW INDUSTRIAL RETAIL OUTLET**

CLIENT  
**THOMPSON DELL**

Figured dimensions take precedence. Do not scale drawings.  
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(C)

**TIM LEE ARCHITECTS**  
residential commercial industrial  
P: 02 4822 5934  
ABN: 71425067537  
ROSS PLACE  
GOULBURN NSW  
2580  
NOMINATED ARCHITECT:  
TIM LEE  
NSW REG: 7304  
ACT REG: 1030

DRAWING TITLE  
**SITE DETAIL- CUT & FILL PLAN**

LOT AND DEPOSITED PLAN NO.  
**LOT 1 DP 1294866**

STREET ADDRESS  
**49 KNOX STREET, GOULBURN NSW 2580**

DRAWING COMMENCED

**APRIL 24**

DRAWING SCALE

**As indicated**

AT SHEET SIZE

**A3 SHEET**

DRAWING IDENTIFICATION NUMBER

**DA-24**

DRAWING VERIFIED BY

**TL**

DRAWN BY

**AW**

JOB NUMBER

**0124-1638**

AMENDMENT ISSUE

**A**



INGRESS INTO & EGRESS FROM THE SITE, CARPARKING & ACCESS, DRIVEWAY WIDTHS & TURNING CIRCLES MUST BE DESIGNED INSTALLED TO MEET AS2890, AS1428, NCC, & COUNCIL'S STANDARD ENGINEERING DETAILS.

SOLID WALL MOUNTED, HOT DIP GALVANISED, HEAVY DUTY DOWNPIPE PROTECTOR GUARDS, SIZED TO SUIT DOWNPIPE SIZE, FABRICATED FROM 5mm CHEQUERPLATE STEEL, FIX THROUGH TO STEEL STRUCTURE & INSTALLED TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

FIXED HEAVY DUTY STEEL BOLLARDS TO PROTECT DOORS. 10mm BASE PLATE 250x250mm. FIX INTO 350Ø 600 DEEP MASS CONCRETE FOOTING WITH 4 No. M16 CHEMSET ANCHOR MIN. 150mm EMBEDMENT. HOT DIP GALVANISED FINISH WITH SAFETY YELLOW POWDERCOATING. CAST ALUMINIUM CAPS WITH STANDARD CLASS 1 REFLECTIVE BAND. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

SCREEN & ACCESS GATE SURROUNDING WATER TANKS. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

WATER TANKS ON 100mm CONCRETE SLAB, CONNECT OVERFLOW TO EXISTING STORMWATER SYSTEM. TANKS TO BE SUNK INTO THE GROUND.

AREA OF RAINGARDEN. REFER TO HYDRAULIC ENGINEER'S DETAILS.

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AS1428.1 ACCESSIBLE WALKWAYS & LANDINGS FROM FRONT BOUNDARY TO BUILDING ENTRY POINTS TO MEET NCC D4D3.

NEW LAYBACK & DRIVEWAY ENTRY TO MEET AS2890.2.

NOTE : FINAL PLANTING OF PLANTS TO BE IN ACCORDANCE WITH SUPPLIER'S CURRENT RECOMMENDED INSTRUCTIONS & SPACINGS.

IF SUB-SOIL WATERING SYSTEM IS INSTALLED, CONNECT TO RAIN WATER TANK WITH TIMER. DRIPPERS TO BE PLACED AT EACH PLANT BASE. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

PLANT SPECIES TO BE SELECTED FROM GOULBURN MULWAREE COUNCIL'S DEVELOPMENT CONTROL PLAN APPENDIX B - PREFERRED PLANTING SPECIES IN GOULBURN MULWAREE. FINAL PLANT SELECTION BY CLIENT.

FINAL PLANTING OF PLANTS TO BE IN ACCORDANCE WITH SUPPLIER'S CURRENT RECOMMENDED INSTRUCTIONS & SPACINGS.

PLANT SCHEDULE *(GMC DCP - APPENDIX B : LAND ZONE 4 PLANTING)*	SYMBOL	QTY.	POT SIZE	COMMON	BOTANICAL
		---	RAIN GARDEN, DRAINAGE & FILTER MATERIAL	RAIN GARDEN PLANTINGS, DRAINAGE SYSTEM & FILTER MATERIALS TO HYDRAULIC ENGINEER'S DETAILS.	
		---		CANTURF CANBERRA BLEND WITH CLOVER	TALL FINE FESCUE & KENTUCKY BLUEGRASS WITH 5% O'CONNER'S STRAWBERRY CLOVER ADDED.
		60	140mm LITRE POT, SPACED AT MAX. 600mm APART	LOMANDRA LITTLE CON WATTLE MAT-RUSH SHARA FLUVIATILIS	LOMANDRA CONFERTIFOLIA LOMANDRA FILIFORMIS SHARA LOMANDRA FLUVIATILIS 'ABU'
		9	4.5 LITRE POT SPACED AT MAX. 1.5m APART WITHIN GARDEN BED	'BRONZE RAMBLER'	PROTEACEAE GREVILLEA
		3	30 LITRE POT, SPACED AS SHOWN ON PLANS	'CHINESE PISTACHIO'	PISTACIA CHINENSIS

NOTE: LANDSCAPING IS INDICATIVE ONLY. ACTUAL SPECIES, QUANTITIES & LOCATIONS MAY VARY DEPENDING ON AVAILABILITY.

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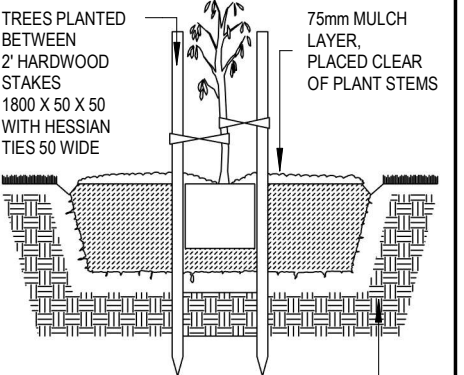
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REFER TO COMPLIANCE NOTES FOR GENERAL NOTES

#### LANDSCAPING NOTES

- EXCAVATE TO A DEPTH OF 300mm, BREAK UP SUBGRADE A FURTHER 100mm AND BACKFILL WITH TOPSOIL. MIXTURE. PROVIDE 1:100 FALL TO BASE OF BED WITH 100 PVC SUBSOIL DRAIN IN BLUE METAL CONNECTED TO ROOF AND YARD DRAINAGE SYSTEM.
- PROVIDE HOSE COCKS FOR WATERING AT 30m CENTRES.
- FAILURES TO BE REPLACED AND WEEDS REMOVED ON REGULAR BASIS.
- PLANT STOCK TO BE OF GOOD QUALITY, HARDENED OFF, NOT ROOT BOUND AND WITH A LEADING SHOOT IF A TREE SPECIES, FREE OF PESTS AND DISEASE.
- PLANTS TO BE SPACED TO ENSURE INTERLOCKING OF CANOPIES BY 10-20% FOR SHRUBS AND 30-40% FOR GROUND COVER.
- MULCHING OF PLANTING BED TO BE 75mm THICK TAKING CARE TO CLEAR MULCH FROM STEMS.
- SOIL TREATMENT: WHERE TOP SOIL HAS BEEN STRIPPED, APPLY GYPSUM 300g/m sq. AFTER REPLACING TOPSOIL TO 300mm DEEP, APPLY LIME AT 200g/m sq. AND ENSURE PH IS 5.5-6.5. APPLY A LOW 9NPKS FERTILISER AT 100g/m².
- AREAS INDICATED GRASSED TO BE ROTARY HOED THROUGH 100mm TOPSOIL AND FIRST QUALITY TURF TO BE ROLLED, TAMPED, WATERED AND TOP DRESSED. REMOVE IRREGULARITIES AND MOW AT FORTNIGHTLY INTERVALS.



CULTIVATE SOIL TO A DEPTH OF 600mm BY 1m DIAMETRE AROUND ALL NEW LARGE PLANT STOCK

SITE AREA - TOTAL	
SITE AREA	3577.55 m²
TOTAL FLOOR AREAS	
MEZZANINES	217.81 m²
SHED & RETAIL / OFFICES	665.64 m²
	883.44 m²

ISSUED FOR  
**DEVELOPMENT APPLICATION**  
**NOT FOR CONSTRUCTION**

## 1 LANDSCAPE PLAN

1 : 300 @ A3

DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div>	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION A	DESCRIPTION ISSUED FOR DEVELOPMENT APPLICATION	DATE 10.06.2025	NEW INDUSTRIAL RETAIL OUTLET		SITE DETAIL - LANDSCAPE PLAN	APRIL 24	TL
			CLIENT		LOT 1 DP 1294866	DRAWING SCALE	DRAWN BY
			THOMPSON DELL			As indicated	AW
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.		AT SHEET SIZE	JOB NUMBER	
					A3 SHEET	0124-1638	
					STREET ADDRESS	DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
					49 KNOX STREET, GOULBURN NSW 2580	DA-25	A



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REFER TO COMPLIANCE NOTES FOR GENERAL NOTES

#### SITE AREA - TOTAL

SITE AREA	3577.55 m <sup>2</sup>
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#### SUBDIVISION - AREAS

LOT 1 - SITE AREA	1101.80 m <sup>2</sup>
LOT 2 - SITE AREA	2475.75 m <sup>2</sup>

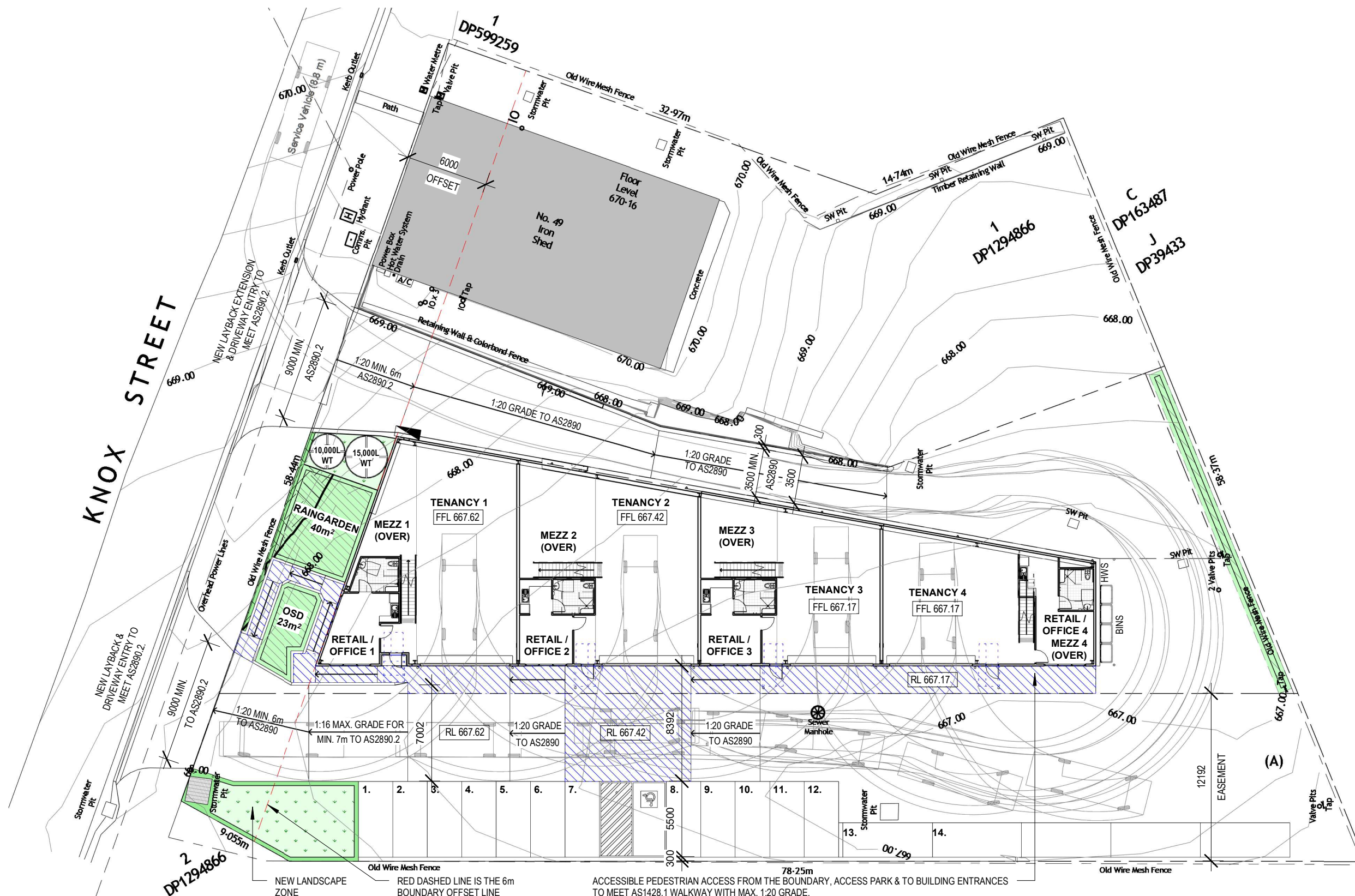
#### SUBDIVISION - ROW AREA

ROW (PART OF LOT 2 AREA)	419.67 m <sup>2</sup>
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#### INDUSTRIAL BUILDING CARPARKING

1 SPACE PER 100m <sup>2</sup> OF GFA	9
1 SPACE PER 40m <sup>2</sup> OF OFFICE GFA	5
1 SPACE PER 37m <sup>2</sup> OF RETAIL GFA	-
ACCESSIBLE 1 PER 100 CARPARKS	1

1 ACCESSIBLE + 14



1 VEHICULAR TURNING CIRCLE PLAN  
1 : 300 @ A3

MAXIMUM SITE DESIGN IS FOR A MEDIUM RIGID VEHICLE (MRV) - 8.80m OVERALL LENGTH TO MEET AS2890.2.

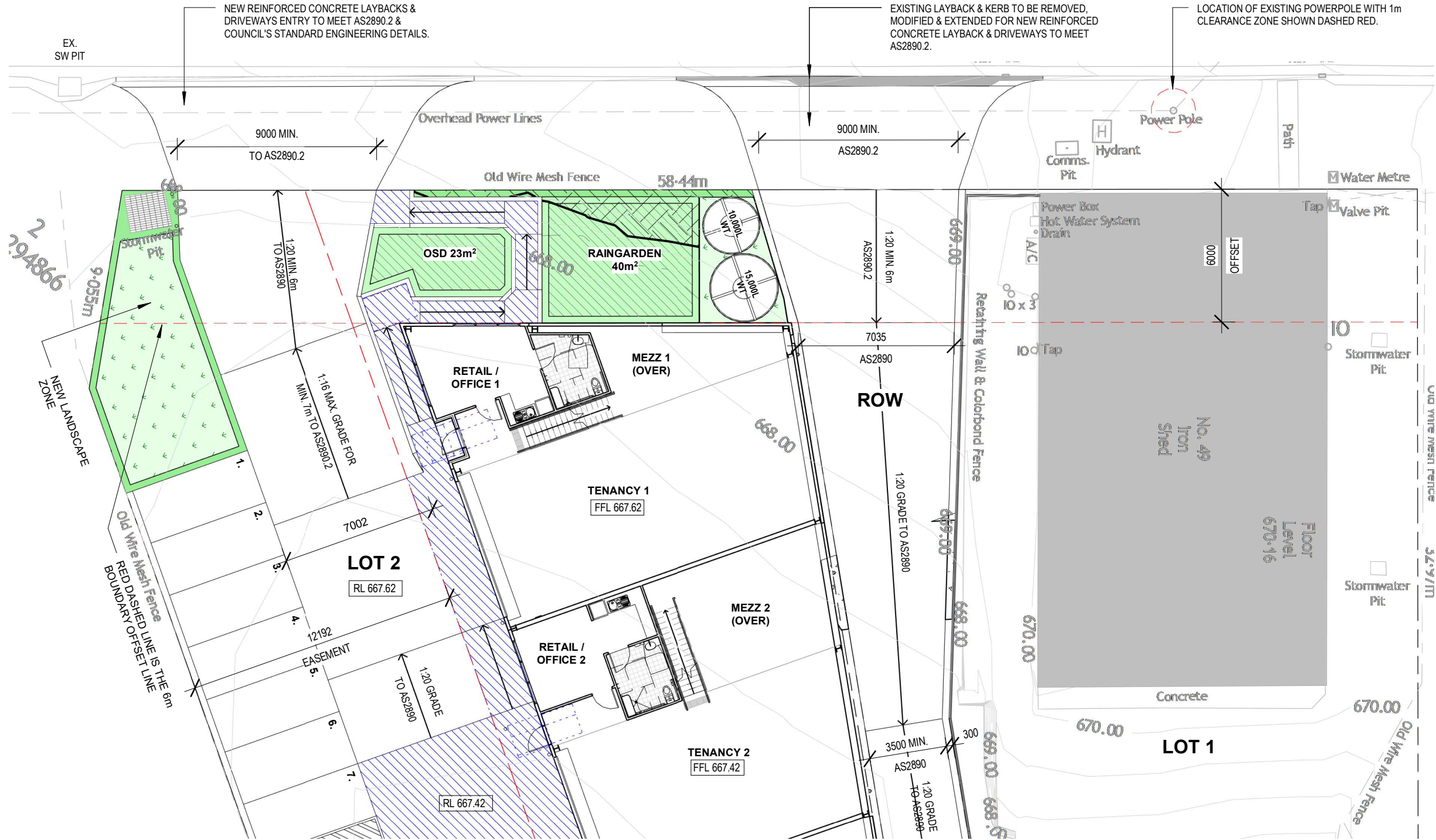


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REVISION A	DESCRIPTION ISSUED FOR DEVELOPMENT APPLICATION	DATE 10.06.2025	NEW INDUSTRIAL RETAIL OUTLET			SITE DETAIL - VEHICULAR TURNING CIRCLES PLAN		APRIL 24		TL	
			CLIENT			LOT AND DEPOSITED PLAN NO.		DRAWING SCALE		DRAWN BY	
			THOMPSON DELL			LOT 1 DP 1294866		As indicated		AW	
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				49 KNOX STREET, GOULBURN NSW 2580		A3 SHEET		0124-1638			
						DRAWING IDENTIFICATION NUMBER		AMENDMENT ISSUE			
						DA-26		A			



KNOX STREET



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1

s138 VEHICULAR ACCESS PLAN

1 : 200 @ A3

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DRAWING AMENDMENTS

REVISION	DESCRIPTION	DATE
A	ISSUED FOR DEVELOPMENT APPLICATION	10.06.2025

PROJECT TITLE

NEW INDUSTRIAL RETAIL OUTLET

CLIENT

THOMPSON DELL

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C

**TIM LEE ARCHITECTS**  
residential commercial industrial

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ABN: 71425067537  
ROSS PLACE  
GOULBURN NSW  
2580

NOMINATED ARCHITECT:  
TIM LEE  
NSW REG: 7304  
ACT REG: 1030

DRAWING TITLE

SITE DETAIL - s138 VEHICULAR ACCESS PLAN

LOT AND DEPOSITED PLAN NO.

LOT 1 DP 1294866

STREET ADDRESS

49 KNOX STREET, GOULBURN NSW 2580

DRAWING COMMENCED

APRIL 24

DRAWING SCALE

As indicated

AT SHEET SIZE

A3 SHEET

DRAWING IDENTIFICATION NUMBER

DA-27

DRAWING VERIFIED BY

TL

DRAWN BY

AW

JOB NUMBER

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AMENDMENT ISSUE

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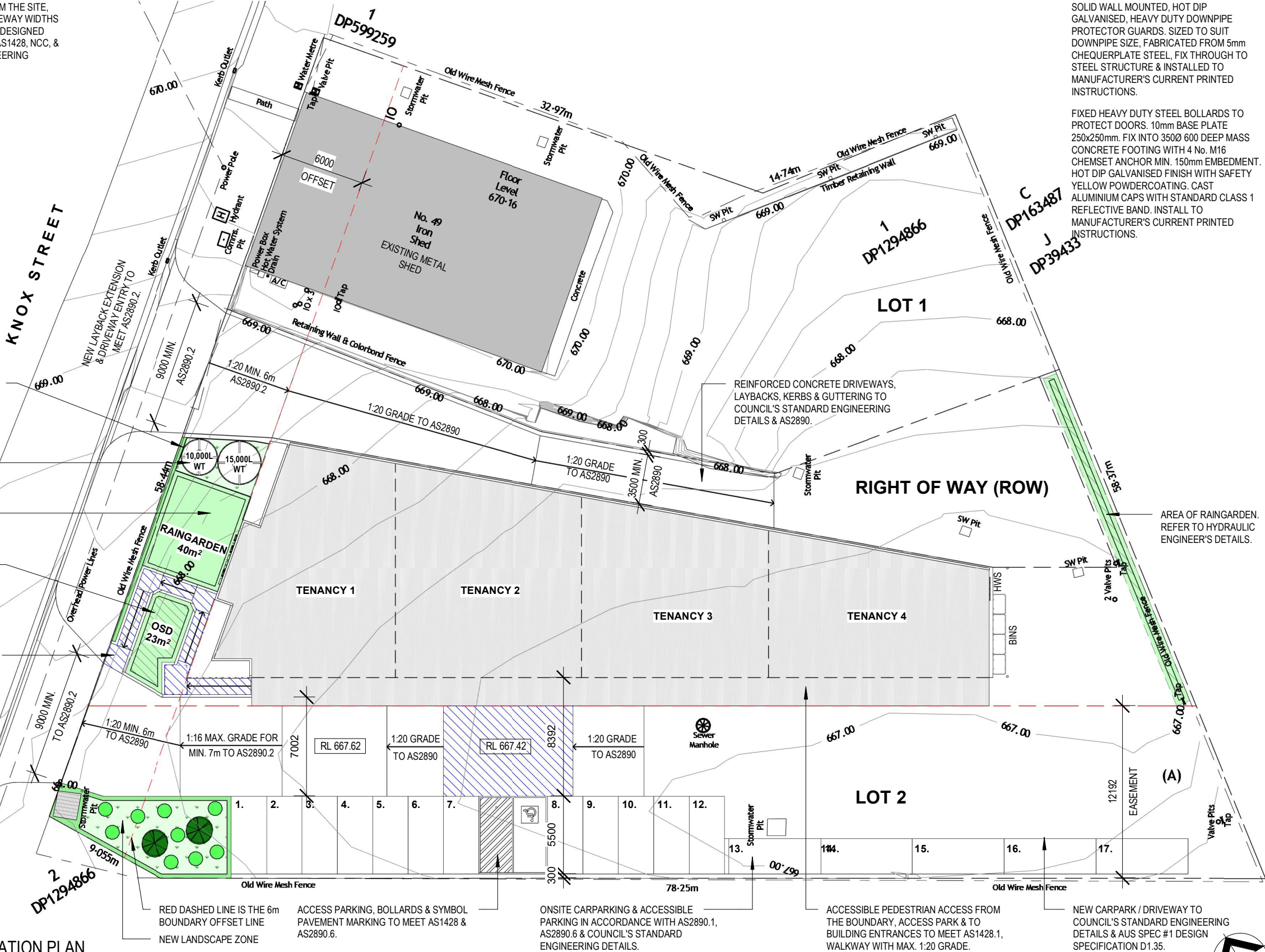
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1 NOTIFICATION PLAN  
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REVISION A	DESCRIPTION ISSUED FOR DEVELOPMENT APPLICATION		DATE 10.06.2025	CLIENT THOMPSON DELL		LOT AND DEPOSITED PLAN NO. LOT 1 DP 1294866		DRAWING SCALE As indicated		DRAWN BY AW		
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								DRAWING IDENTIFICATION NUMBER NP-01		AMENDMENT ISSUE A		

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